

***Live Oak Lake
Community Development District***

Agenda

July 17, 2025

AGENDA

Live Oak Lake
Community Development District
219 E. Livingston St., Orlando, FL 32801
Phone: 407-841-5524

July 10, 2025

**Board of Supervisors
Live Oak Lake
Community Development District**

Dear Board Members:

The regular meeting of the Board of Supervisors of **Live Oak Lake Community Development District** will be held **Thursday, July 17, 2025, at 2:00 PM at the Ramada by Wyndham Hotel & Water Park, 2261 E. Irlo Bronson Memorial Hwy, Kissimmee, FL 34744.**

Those members of the public wishing to attend the meeting can do so using the information below:

Zoom Video Link: <https://us06web.zoom.us/j/89972553280>

Zoom Call-In Information: 1-305-224-1968

Zoom ID: 899 7255 3280

Board of Supervisors Meeting

1. Roll Call
2. Public Comment Period
3. Approval of Minutes of the May 15, 2025 Board of Supervisors Meeting
4. Public Hearings
 - A. Consideration of Resolution 2025-05 Adopting the District's Fiscal Year 2026 Budget and Appropriating Funds
 - B. Consideration of Resolution 2025-06 Imposing Special Assessments and Certifying an Assessment Roll
5. Consideration of Fiscal Year 2026- Phase 3 Direct Collection Agreement
6. Consideration of Fiscal Year 2026- Phases 5 & 6 Direct Collection Agreement
7. Staff Reports
 - A. Attorney
 - B. Engineer
 - i. Presentation of Annual Stormwater Report
 - C. Field Manager's Report
 - i. Consideration of Updated Agreement for Midge Management Services
 - D. District Manager's Report
 - i. Approval of Check Register
 - ii. Approval of Balance Sheet
 - iii. Approval of Fiscal Year 2026 Meeting Schedule
 - iv. District Goals and Objectives
 - a. Adoption of Fiscal Year 2026 Goals & Objectives
 - b. Presentation of Fiscal Year 2025 Goals & Objectives Authorizing Chair to Execute

8. Other Business
9. Supervisors Requests
10. Adjournment

MINUTES

**MINUTES OF MEETING
LIVE OAK LAKE
COMMUNITY DEVELOPMENT DISTRICT**

The regular meeting of the Board of Supervisors of the Live Oak Lake Community Development District was held on Thursday, **June 19, 2025**, at 2:00 p.m. at the Ramada by Wyndham Hotel & Waterpark, 2261 East Irlo Bronson Memorial Hwy, Kissimmee, Florida.

Present and constituting a quorum:

Ned Bowman	Chairperson
Linda Warner	Vice Chairperson
Bob Holesko	Assistant Secretary
Mel Gray Marshall <i>joined late by Zoom</i>	Assistant Secretary
Andrea Stevens <i>by Zoom</i>	Assistant Secretary

Also present were:

Tricia Adams	District Manager, GMS
Sarah Sandy <i>by Zoom</i>	District Counsel, Kutak Rock
Nicole Stalder <i>by Zoom</i>	District Engineer
Jarrett Wright	Field Services, GMS

FIRST ORDER OF BUSINESS

Roll Call

Ms. Adams called the meeting to order at 2:06 p.m. Four Supervisors were in attendance constituting a quorum.

SECOND ORDER OF BUSINESS

Public Comment Period

Ms. Adams opened the public comment period.

Resident Shelly Payne Lewis (2724 Greenlands St.) stated she has been requesting that the meetings be moved closer to the District for two years. She noted the Veteran's Memorial Library was a great place for the meetings to be held. She suggested the meetings get moved to Twin Lakes and the Board send public notices to inform the District of the change in meeting location. She

added that she has been advocating for midge control for years and it has still not happened. She asked if what was on the agenda today was the aerators.

Resident Nancy Tomberlin (2683 Midsweet Ave., Twin Lakes) stated she also thinks the meetings should be closer to Twin Lakes and the midge flies are out of control.

Resident Patricia Kaufman (5017 Fallglo Way) agreed with Ms. Tomberlin and asked the Board to go out and see how bad the midge flies are.

Resident J.R. Wagner (2656 Redblush Terrace) stated he cannot use his front door because of the midge flies.

Resident Sandra Davis (2827 Redblush Terrace) stated she has lived in other District for 30 years and has never seen midge flies until she moved into Twin Lakes. She noted she believes there are not as many mosquitos because of the midge flies.

Resident Grace Ding (2675 Midsweet Ave.) emphasized how bad the midge fly problem is. She asked if other communities had this issue and if there is anything they can do to help this issue.

THIRD ORDER OF BUSINESS

Approval of Minutes of the May 15, 2025, Board of Supervisors Meeting

Ms. Adams presented the minutes of the May 15, 2025 Board of Supervisors meeting. She noted the minutes have been reviewed by the District Manager and District Counsel. She offered to take corrections or changes. The Board had no changes to the minutes.

On MOTION by Mr. Bowman, seconded by Mr. Holesko, with all in favor, the Minutes of the May 15, 2025 Board of Supervisors Meeting, were approved.

FOURTH ORDER OF BUSINESS

Consideration of the Resolution 2025-03 Resetting the Date, Time and Location of Budget Adoption Public Hearing

Ms. Adams presented the resolution on page 13 of the agenda package. She stated they originally hoped to hold the hearing at the library, however, it was not available. She added they are looking to keep the same date and time for the meeting and change the location to the Ramada by Wyndham Hotel & Waterpark, 2261 East Irlo Bronson Memorial Hwy, Kissimmee, Florida.

On MOTION by Mr. Bowman, seconded by Mr. Holesko, with all in favor, Resolution 2025-03, Resetting the Date, Time and Location of Budget Adoption Public Hearing, was approved.

** Supervisor Mell Gray Marshall joined the meeting at this time.*

Ms. Warner asked about holding the meetings at Twin Lakes. Ms. Adams stated they can talk to the HOA about holding it there and posting the code to get into the community at the door until the meeting is over to ensure public access.

Ms. Sandy stated if they were to do this, they would need to post signage with directions on where to go. Mr. Bowman suggested to have a phone number where the sign is posted for the public to call if they have problems with finding the meeting room.

FIFTH ORDER OF BUSINESS

Consideration of Resolution 2025-04 Declaring Special Assessments to Fund the Fiscal Year 2026 Budget and Setting the Public Hearing

Ms. Sandy presented the resolution on page 16 of the agenda package. She stated this resolution tweaks the resolution they approved at the last meeting and changes to how the assessments are allocated among the platted vs. unplatted properties. She noted on page 20 is the budget with a chart that shows the assessments by unit type, unit count, ERU, and the gross per unit from 2022-2026.

Ms. Warner asked if the developer will be assessed with the unplatted and platted lots. Ms. Adams stated the unplatted properties are assessed the same as the platted lots.

Ms. Marshall stated she does not think it is fair that certain houses will be absorbing so much money in the budget and believes they should find ways to decrease the assessments for their community. She added she will not be in favor for this motion because she does not agree with the budget.

Ms. Adams noted the Board only approved the cap on the budget and the budget will not be adopted until the public hearing.

On MOTION by Mr. Bowman, seconded by Mr. Holesko, with Mr. Bowman, Mr. Holesko, Ms. Warner, and Ms. Stevens in favor and Ms. Marshall opposed, Resolution 2025-04 Declaring Special Assessments to Fund the Fiscal Year 2026 Budget and Setting the Public Hearing Date, was approved 4-1.

Ms. Adams reviewed the budget for the Board. She noted there are some items that are subject to change and the Board can increase or reduce line items throughout the budget but noted the per unit assessment cannot increase above what was approved with the proposed budget . She started with the Revenues and Expenses, stating that the majority of the special assessments are collected on the tax roll, and they are proposing \$686,439 for the fees. She added the platted lot assessments are the same as the unplatted lot assessments. They added a line item for room rental expenses to cover the costs of room rental fees for Board Meetings. The total administrative costs proposed is \$142,872. She noted the expenses and administration are the costs to operate the District in accordance with Florida Statutes and in accordance with the Trust Indentures for the bonds that have been issued.

Ms. Adams stated they have currently allocated \$20,000 for midge management, however, to allow the Board to increase the number of tools to manage the midge population, they will need to increase the line item to \$105,000. She noted the only other change was based on irrigation because they have been through consistent droughts, and the irrigation costs have been adjusted based on historical usage.

Mr. Holesko asked if the \$100,000 was for the aerators or the treatment. Ms. Adams stated it will be a 12-month programs that has several different treatments based on future Board approval.

Resident Payne Lewis (2724 Greenlands St.) asked if they Board can open up for public comments.

The Board agreed and Ms. Adams opened the meeting up for public comments.

Resident Nancy Tomberlin (2683 Midsweet Ave.) asked if the CDD is only Twin lakes or if it is a larger area that is scattered around the lakes. Mr. Bowman stated they manage the ponds, and the rest is managed by the HOA.

Resident Shelly Payne Lewis (2724 Greenlands St.) asked if the communities around them are owned by the CDD. Mr. Bowman stated they were.

Resident Nancy Tomberlin (2683 Midsweet Ave.) asked if the reserve pond is having midge fly problems. Mr. Wright stated the midge's presence are more prominent in Twin Lakes.

Ms. Adams closed the meeting to public comments.

SIXTH ORDER OF BUSINESS

**Review and Acceptance of the Fiscal Year
2024 Financial Audit Report**

Ms. Adams noted Florida Special Districts are required to undergo an annual financial audit of all of the District's financial records for the year and is due by June 30th. She stated on page 84; Board Members can find the letter to management and the report of the financial records. She noted there were no findings or recommendations found in the audit and is characterized as a clean audit.

On MOTION by Mr. Bowman, seconded by Ms. Warner, with all in favor, Accepting the Fiscal Year 2024 Financial Audit Report, was approved.

SEVENTH ORDER OF BUSINESS

Staff Reports

A. Attorney

Ms. Sandy stated she had nothing further to report.

B. Engineer

i. Ratification of Work Authorization 2025-1 Annual Stormwater Report

Ms. Stalder presented Work Authorization 2025-01 to the Board. She stated they are working on the Annual Stormwater Report now and they will have it back to the Board by the end of the month. Ms. Adams noted the annual stormwater report is required by the indenture and the total fee for the task if \$4,500.

On MOTION by Mr. Holesko, seconded by Ms. Warner, with all in favor, Work Authorization 2025-1 Annual Stormwater Report, was ratified.

Mr. Holesko asked them to make sure they do not have an excess of debris in Phase 3 like they did when they built in Phase 2.

Ms. Marshall asked Mr. Wright if he had gotten back to the homeowners who had seen trees and branches down in the wetlands and how to stop the bald spots in sod in the wetlands from popping up. Mr. Wright stated they were not able to figure out who cut the trees or branches; however, it has begun to grow back in those places. He added the bald spots are all on sloped areas and they are looking at proposals to fix these areas. She asked if they could look into getting a bigger sign to prevent this from happening again.

Mr. Bowman gave his direction to Mr. Wright to look into bigger signs for the wetlands.

** Ms. Stalder left the meeting at this time.*

C. Field Manager's Report

Mr. Wright reviewed the Field Managers Report. He stated the overall condition of the landscaping has improved, however, there are areas that will not recover, and they are being identified for future replacement. He added the irrigation repairs on the North and South controller have been ongoing and there are multiple line breaks that are being repaired. He noted the hedges on pond 10 were trimmed to promote healthy growth and balance the aesthetic.

Mr. Wright continued with fountain items, stating the pond 3 fountain was replaced and the pond 2 fountain is listing due to an issue with a broken float. He added the old floats from pond 3 will be used to replace the damaged components.

i. Consideration of Proposals for Midge Control

Mr. Wright reviewed the proposals for midge control. He stated midges are attracted to newer ponds and over time the problem will get better. The first proposal is for monthly treatments for all 23 ponds in the community for \$89,015.15. The second proposal is for \$35,379.75, and the third proposal is for \$66,955.80. He recommended going with the option for \$35,379.75 because it takes care of all of the ponds that need work.

Ms. Warner asked when another batch of beneficial midge eating fish will be ready to put in the pond. Mr. Bowman stated they need to take the game fish that eat the beneficial fish out of the pond.

Mr. Wright recommended to have the Board approve the proposal for \$35,379.75 and allowing them to get proposals for the Midsweet pond and to look into potential fish restocking. He noted this will allow them to work with \$50,000 to look at aerator options.

Mr. Bowman asked if they had a price for the electricity. Mr. Wright stated they are still working on it but believes it will be between \$5,000-\$10,000.

Resident Shelly Payne Lewis (2724 Greenlands St.) stated she has been asked for the pond on Greenlands to be treated for two years and asked why it is not part of the proposal. Mr. Wright stated he recommended the Board to start with one pond to see how it is affected and the Midsweet pond is the worst.

Mr. Holesko asked if the aerator is installed, will aquatic maintenance treatment eventually not be needed. Ms. Adams stated that if the land around the pond is getting regularly fertilized and that fertilizer runs into the stormwater pond, it creates an environment for algae to grow. The District will need to continue to treat ponds for algae and other nuisance vegetation.

Resident Shelly Payne Lewis (2724 Greenlands St.) stated when they first moved in, they were made to put mulch down around the house and asked if this was because of the midges. The Board stated yes. She asked if she could take away the mulch to help deter them. Ms. Sandy stated that would be an HOA question.

Ms. Sandy suggested asking the HOA to help cut the cost for the midge control.

Resident J.R. Wagner (2656 Redblush Terrace) asked how long the midges will be back once they are sprayed. Mr. Wright stated it will take a while for them to be affected by the spray.

Ms. Marshall asked if the developer could help pay for the midge control treatments. Mr. Bowman stated they had the responsibility to take over the ponds.

D. District Manager's Report

i. Approval of Check Register

Ms. Adams presented the check register from June 19, 2025 totaling \$78,952.41. She asked for any questions, comments, or concerns.

Mr. Bowman asked if they could look into using USPS instead of FedEx to save money. Ms. Adams stated she will look into it, however in the past few years they have seen an increasing number of mail fraud events, and they have been using FedEx to safeguard checks.

On MOTION by Mr. Bowman, seconded by Mr. Holesko, with all in favor, the Check Register, was approved.

ii. Approval of Balance Sheet

Ms. Adams presented the unaudited financials through the end of May. These are for information purposes only. She noted they are nearing full assessment collected. No Board action is required.

EIGHTH ORDER OF BUSINESS

Other Business

There being no comments, the next item followed.

NINTH ORDER OF BUSINESS

Supervisors Requests

There being no comments, the next item followed.

TENTH ORDER OF BUSINESS

Adjournment

On MOTION by Mr. Bowman, seconded by Mr. Warner, with all in favor, the meeting was adjourned.
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Secretary / Assistant Secretary

Chairman / Vice Chairman

SECTION IV

SECTION A

RESOLUTION 2025-05
[FY 2026 APPROPRIATION RESOLUTION]

THE ANNUAL APPROPRIATION RESOLUTION OF THE LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT (“DISTRICT”) RELATING TO THE ANNUAL APPROPRIATIONS AND ADOPTING THE BUDGET(S) FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2025, AND ENDING SEPTEMBER 30, 2026; AUTHORIZING BUDGET AMENDMENTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, for the fiscal year beginning October 1, 2025, and ending September 30, 2026 (“**FY 2026**”), the District Manager prepared and submitted to the Board of Supervisors (“**Board**”) of the Live Oak Lake Community Development District (“**District**”) prior to June 15, 2025, proposed budget(s) (“**Proposed Budget**”) along with an explanatory and complete financial plan for each fund of the District, pursuant to the provisions of Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, at least sixty (60) days prior to the adoption of the Proposed Budget, the District filed a copy of the Proposed Budget with the local general-purpose government(s) having jurisdiction over the area included in the District pursuant to the provisions of Section 190.008(2)(b), *Florida Statutes*; and

WHEREAS, the Board set a public hearing on the Proposed Budget and caused notice of such public hearing to be given by publication pursuant to Section 190.008(2)(a), *Florida Statutes*; and

WHEREAS, the District Manager posted the Proposed Budget on the District’s website in accordance with Section 189.016, *Florida Statutes*; and

WHEREAS, Section 190.008(2)(a), *Florida Statutes*, requires that, prior to October 1st of each year, the Board, by passage of the Annual Appropriation Resolution, shall adopt a budget for the ensuing fiscal year and appropriate such sums of money as the Board deems necessary to defray all expenditures of the District during the ensuing fiscal year.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. BUDGET

- a. The Proposed Budget, attached hereto as **Exhibit A**, as amended by the Board, is hereby adopted in accordance with the provisions of Section 190.008(2)(a), *Florida Statutes* (“**Adopted Budget**”), and incorporated herein by reference; provided, however, that the comparative figures contained in the Adopted Budget may be subsequently revised as deemed necessary by the District Manager to reflect actual revenues and expenditures.
- b. The Adopted Budget, as amended, shall be maintained in the office of the District Manager and at the District’s Local Records Office and identified as “The Budget for the Live Oak Lake Community Development District for the Fiscal Year Ending September 30, 2026.”
- c. The Adopted Budget shall be posted by the District Manager on the District’s official website in accordance with Section 189.016, *Florida Statutes* and shall remain on the website for at least two (2) years.

SECTION 2. APPROPRIATIONS

There is hereby appropriated out of the revenues of the District, for FY 2026, the sum(s) set forth in **Exhibit A** to be raised by the levy of assessments and/or otherwise, which sum is deemed by the Board to be necessary to defray all expenditures of the District during said budget year, to be divided and appropriated as set forth in **Exhibit A**.

SECTION 3. BUDGET AMENDMENTS

Pursuant to Section 189.016, *Florida Statutes*, the District at any time within FY 2026 or within 60 days following the end of the FY 2026 may amend its Adopted Budget for that fiscal year as follows:

- a. A line-item appropriation for expenditures within a fund may be decreased or increased by motion of the Board recorded in the minutes, and approving the expenditure, if the total appropriations of the fund do not increase.
- b. The District Manager or Treasurer may approve an expenditure that would increase or decrease a line-item appropriation for expenditures within a fund if the total appropriations of the fund do not increase and if either (i) the aggregate change in the original appropriation item does not exceed the greater of \$15,000 or 15% of the original appropriation, or (ii) such expenditure is authorized by separate disbursement or spending resolution.
- c. Any other budget amendments shall be adopted by resolution and consistent with Florida law. The District Manager or Treasurer must ensure that any amendments to the budget under this paragraph c. are posted on the District's website in accordance with Section 189.016, *Florida Statutes*, and remain on the website for at least two (2) years.

SECTION 4. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 17TH DAY OF JULY 2025.

ATTEST:

**LIVE OAK LAKE COMMUNITY
DEVELOPMENT DISTRICT**

Secretary / Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: FY 2026 Budget

Live Oak Lake
Community Development District

FY 2026
Approved Budget
July 17, 2025



Table of Contents

1	<u>General Fund</u>
2-5	<u>General Fund Narrative</u>
6	<u>Debt Service Fund Series 2016</u>
7	<u>Amortization Schedule - Debt Service Fund Series 2016</u>
8	<u>Debt Service Fund Series 2020</u>
9	<u>Amortization Schedule - Debt Service Fund Series 2020</u>

Live Oak Lake

Community Development District

Proposed Budget

General Fund

Description	Adopted Budget FY 2025	Actual Thru 6/30/25	Projected Next 3 Months	Total Projected 9/30/25	Approved Budget FY 2026
Revenues					
Assessments - Tax Collector (Net)	\$357,293	\$358,547	\$0	\$358,547	\$686,439
Assessments - Off Roll (Platted)	\$95,439	\$95,439	\$0	\$95,439	\$0
Assessments - Off Roll (Unplatted)	\$31,800	\$31,800	\$0	\$31,800	\$0
Interest Income	\$0	\$521	\$261	\$782	\$0
Direct Assessment - Pulte	\$0	\$0	\$0	\$0	\$76,824
Direct Assessment - NLV	\$0	\$0	\$0	\$0	\$202,223
Developer Deficit Funding	\$226,920	\$0	\$226,920	\$226,920	\$0
Carryforward Surplus	\$106,135	\$106,135	\$0	\$106,135	\$0
TOTAL REVENUES	\$817,587	\$592,443	\$227,181	\$819,624	\$965,487
Expenditures					
Administrative					
Supervisor Fees	\$12,000	\$4,200	\$3,000	\$7,200	\$12,000
FICA Expense	\$918	\$321	\$230	\$551	\$918
Engineering	\$15,000	\$3,335	\$2,382	\$5,717	\$15,000
Dissemination	\$5,250	\$4,038	\$1,313	\$5,350	\$5,408
Assessment Roll	\$5,250	\$5,250	\$0	\$5,250	\$5,408
Property Appraiser	\$600	\$133	\$0	\$133	\$600
Arbitrage	\$1,150	\$0	\$1,100	\$1,100	\$1,150
Attorney	\$30,000	\$15,078	\$7,539	\$22,617	\$25,000
Annual Audit	\$5,100	\$5,200	\$0	\$5,200	\$5,300
Trustee Fees	\$8,100	\$8,081	\$0	\$8,081	\$8,869
Management Fees	\$42,500	\$31,875	\$10,625	\$42,500	\$43,775
Information Technology	\$1,890	\$1,418	\$473	\$1,890	\$1,947
Postage	\$1,450	\$1,818	\$606	\$2,424	\$1,450
Copies	\$250	\$557	\$186	\$743	\$250
Rentals and Leases	\$0	\$49	\$0	\$49	\$3,600
Insurance	\$6,684	\$6,501	\$0	\$6,501	\$7,814
Legal Advertising	\$2,500	\$484	\$1,719	\$2,203	\$2,500
Other Current Charges	\$350	\$0	\$0	\$0	\$350
Office Supplies	\$100	\$214	\$71	\$286	\$100
Dues, Licenses & Subscriptions	\$175	\$175	\$0	\$175	\$175
Website Hosting/Compliance	\$1,260	\$945	\$315	\$1,260	\$1,260
TOTAL ADMINISTRATIVE	\$140,527	\$89,672	\$29,558	\$119,230	\$142,872
Field					
Field Management	\$16,538	\$12,404	\$4,135	\$16,538	\$17,365
Property Insurance	\$5,000	\$4,050	\$0	\$4,050	\$4,374
Aquatic Control	\$51,200	\$38,656	\$14,600	\$53,256	\$55,000
Mitigation Maintenance	\$2,000	\$1,440	\$0	\$1,440	\$0
Midge Management	\$20,000	\$12,537	\$4,946	\$17,483	\$105,000
Contingency	\$9,384	\$0	\$0	\$0	\$29,384
Landscape Maintenance	\$286,000	\$202,493	\$65,100	\$267,593	\$282,000
Landscaping Replacements	\$50,000	\$7,773	\$42,227	\$50,000	\$50,000
Pond Aerator and Fountain Maintenance	\$15,000	\$3,385	\$11,615	\$15,000	\$15,000
Irrigation Consultant Services	\$6,000	\$4,500	\$1,500	\$6,000	\$6,000
Irrigation Repairs	\$15,000	\$12,881	\$4,294	\$17,174	\$15,000
General Repairs and Maintenance	\$15,000	\$500	\$167	\$667	\$15,000
Electricity-Street Lights	\$43,694	\$34,694	\$11,579	\$46,273	\$50,892
Electricity-Aerators and Fountains	\$57,600	\$508	\$169	\$678	\$57,600
Water-Irrigation	\$67,144	\$85,002	\$47,006	\$132,008	\$100,000
Capital Reserve	\$17,500	\$8,250	\$9,250	\$17,500	\$20,000
TOTAL FIELD	\$677,060	\$429,074	\$216,586	\$645,659	\$822,614
TOTAL EXPENDITURES	\$817,587	\$518,746	\$246,144	\$764,889	\$965,487
EXCESS REVENUES (EXPENDITURES)	\$0	\$73,697	(\$18,963)	\$54,735	\$0
					Net Assessment \$965,487
					Discounts & Collections 6% \$61,627
					Gross Assessment \$1,027,114

Unit Type ⁽¹⁾	Unit Count ⁽²⁾	EAU ⁽¹⁾	FY 2022 Gross Per Unit	FY 2023 Gross Per Unit	FY 2024 Gross Per Unit	FY 2025 Gross Per Unit	FY 2026 Gross Per Unit	Gross Total
Duplex 35'	504	0.7	238	237.67	249.55	249.55	378.37	\$190,698.74
50' SF	1,322	1.0	340	339.52	356.50	356.50	540.53	\$714,579.73
70' SF	161	1.4	475	475.33	499.10	499.10	756.74	\$121,835.30
	1,987							\$1,027,113.77

¹Unplatted lands: O&M Assessments are initially allocated to anticipated units on the EAU basis shown above and then, if applicable, between undeveloped tracts with the same landowner on an equal assessment per acre basis. Note, for FY 2026, the District intends to assess anticipated units on undeveloped property at the same EAU/ERU level as platted units. This constitutes a change in allocation from FY 2023 - FY 2025, during which undeveloped lands were assessed only for the administrative costs in the budget resulting in an EAU of 0.19

² Includes both platted and anticipated units. Of the total, 532 are anticipated units (489 SF-50'; 43 SF-70')

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

REVENUES:

Assessments-Tax Collector

The District will levy a non-ad valorem special assessment on all taxable property within the District to fund general operating and maintenance expenditures for the fiscal year. These assessments are billed on tax bills.

Assessments –Off Roll

The District will levy a non-ad valorem special assessment on all taxable property within the District to fund general operating and maintenance expenditures for the fiscal year. The District levies these assessments directly to the property owners.

Developer Funding

The District will enter into an agreement with the Developer to fund General Fund expenditures and up to a certain deficit for the Fiscal Year.

Interest Income

The District earns interest on the monthly average collected balance for their money market accounts.

EXPENDITURES:

Administrative:

Supervisor Fees

The Florida Statutes allows each board member to receive \$200 per meeting not to exceed \$4,800 in one year. The amount for the fiscal year is based upon all 5 supervisors attending the estimated 12 meetings.

FICA Taxes

Related payroll taxes of 7.65% for above.

Engineering Fees

The District's engineer will be providing general engineering services to the District including attendance and preparation for board meetings, etc.

Dissemination Agent

The District is required by the Security and Exchange Commission to comply with Rule 15(c)(2)-12(b)(5), which relates to additional reporting requirements for un-rated bond issues.

Assessment Roll

The District has contracted with Governmental Management Services to levy and administer the collection of non-ad valorem assessment on all assessable property within the District.

Property Appraiser

The District anticipates costs associated with services provided by the property appraiser's office.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Arbitrage

The District is required to annually have an arbitrage rebate calculation on the District's Series 2016 Capital Improvement Revenue Bonds and the Series 2020 Special Assessment Revenue Bonds.

Attorney

The District's legal counsel will be providing general legal services to the District, i.e., attendance and preparation for monthly meetings, review operating and maintenance contracts, etc.

Annual Audit

The District is required annually to conduct an audit of its financial records by an Independent Certified Public Accounting Firm.

Trustee Fees

The District issued Series 2016 Capital Improvement Revenue Bonds and Series 2020 Special Assessment Revenue Bonds which are held with a Trustee at US Bank. The amount of the trustee fees is based on the agreement between US Bank and the District.

Management Fees

The District has contracted with Governmental Management Services to provide Management, Accounting and Recording Secretary Services for the District. The services include, but are not limited to recording and transcription of board meetings, budget preparation, financial reporting, annual audit, etc.

Information Technology

Represents costs related to the District's information systems, which include but are not limited to video conferencing services, cloud storage services and servers, security, accounting software, etc..

Postage

Mailings, overnight deliveries, and correspondence, etc.

Copies

Printing of computerized checks, stationary, envelopes, invoices, etc.

Insurance

The District's General Liability & Public Officials Liability Insurance policy is with The Florida Insurance Alliance. They specialize in providing insurance coverage to governmental agencies.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings, public hearings, etc. in a newspaper of general circulation.

Other Current Charges

Bank charges and any other miscellaneous expenses that are incurred during the year.

Office Supplies

Miscellaneous office supplies.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Florida Department of Commerce for \$175. This is the only expense under this category for the District.

Website Hosting/Compliance

Represents the cost associated with monitoring and maintaining the District's website created in accordance with Chapter 189, Florida Statutes. These services include site performance assessment, security and firewall maintenance, updates, document uploads, hosting and domain renewals, website backups, etc.

Field

Field Management

Governmental Management Services provides onsite field management of contracts such as landscape and lake maintenance, fountain maintenance, etc. Services include onsite inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings, receive and respond to property owner email and phone calls.

Property Insurance

The District will bind a Property Insurance policy with Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Aquatic Control

Represents the cost for maintenance to the 23 stormwater ponds located within the District. Services include, but are not limited to, treatment of nuisance vegetation and algae treatment.

Mitigation, Monitoring, and Maintenance

Post permit and mitigation compliance, bi-annual maintenance events, time-zeroing monitoring and reporting and annual monitoring and reporting as defined in District Engineer's work authorizations.

Midge Management

Includes funding for deep water spray treatment, shoreline barrier and fogging to reduce midge population on an as needed basis.

Contingency-Field

Any unanticipated expenditure that may arise during the fiscal year.

Landscape Maintenance

The District contracts for landscape maintenance of certain common areas such as mowing, edging, blowing, fertilization, trimming and mowing around stormwater ponds.

Landscape Replacement

Replacement of plants needed throughout the District.

Pond Aerator and Fountain Maintenance

Repairs and maintenance to the District's eight fountains.

Irrigation Consultant Services

The district has contracted with Irrigation Management Consulting to maintain the irrigation systems.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Irrigation Repairs

Represents funds needed for repairs to the irrigation system of the district.

Electricity-Streetlights

The cost of electricity for Live Oak Lake CDD.

Water-Irrigation

The cost of water, sewer, and irrigation services for Live Oak Lake CDD.

Live Oak Lake

Community Development District

Proposed Budget

Debt Service Fund - Series 2016

Description	Adopted Budget FY 2025	Actual Thru 6/30/25	Projected Next 3 Months	Total Projected 9/30/25	Approved Budget FY 2026
Revenues					
Interest Income	\$5,000	\$40,254	\$13,418	\$53,673	\$5,000
Assessments - On Roll (Net)	\$954,030	\$956,408	\$0	\$956,408	\$954,030
Assessments - Prepayments	\$0	\$0	\$0	\$0	\$0
Carryforward Surplus ⁽¹⁾	\$509,632	\$1,015,691	\$0	\$1,015,691	\$576,849
TOTAL REVENUES	\$1,468,662	\$2,012,353	\$13,418	\$2,025,771	\$1,535,879

Expenditures

Series 2016

Interest - 11/01	\$308,991	\$308,991	\$0	\$308,991	\$300,994
Interest - 05/01	\$308,991	\$308,644	\$0	\$308,644	\$300,994
Principal - 05/01	\$340,000	\$340,000	\$0	\$340,000	\$355,000
Special Call - 11/01	\$0	\$15,000	\$0	\$15,000	\$0
TOTAL EXPENDITURES	\$957,981	\$972,634	\$0	\$972,634	\$956,988

Other Financing Sources and (Uses)

Interfund Transfer	\$0	(\$476,288)	\$0	(\$476,288)	\$0
TOTAL OTHER FINANCING SOURCES AND USES	\$0	(\$476,288)	\$0	(\$476,288)	\$0

EXCESS REVENUES	\$510,681	\$563,431	\$13,418	\$576,849	\$578,891
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11/26 Interest \$293,006

Unit Type	No. of Units	Gross Assessment Per Unit Amount	Total
Duplex 35'	350	\$975.00	\$341,250.00
50' SF	506	\$1,025.00	\$518,650.00
70' SF	117	\$1,325.00	\$155,025.00
	973		<u>\$1,014,925.00</u>
		Less Discount/Collection Fees	<u>(\$60,895.50)</u>
		Net Assessment	\$954,029.50

⁽¹⁾ Carry forward surplus is net of the reserve requirement

Live Oak Lake

Community Development District

Amortization Schedule

Series 2016, Capital Improvement Revenue Bonds

DATE	BALANCE	PRINCIPAL	INTEREST	TOTAL
05/01/25	\$ 13,490,000	\$ 340,000.00	\$ 308,643.75	\$ -
11/01/25	\$ 13,150,000	\$ -	\$ 300,993.75	\$ 949,637.50
05/01/26	\$ 13,150,000	\$ 355,000.00	\$ 300,993.75	\$ -
11/01/26	\$ 12,795,000	\$ -	\$ 293,006.25	\$ 949,000.00
05/01/27	\$ 12,795,000	\$ 375,000.00	\$ 293,006.25	\$ -
11/01/27	\$ 12,420,000	\$ -	\$ 284,568.75	\$ 952,575.00
05/01/28	\$ 12,420,000	\$ 390,000.00	\$ 284,568.75	\$ -
11/01/28	\$ 12,030,000	\$ -	\$ 275,793.75	\$ 950,362.50
05/01/29	\$ 12,030,000	\$ 410,000.00	\$ 275,793.75	\$ -
11/01/29	\$ 11,620,000	\$ -	\$ 266,568.75	\$ 952,362.50
05/01/30	\$ 11,620,000	\$ 425,000.00	\$ 266,568.75	\$ -
11/01/30	\$ 11,195,000	\$ -	\$ 257,006.25	\$ 948,575.00
05/01/31	\$ 11,195,000	\$ 445,000.00	\$ 257,006.25	\$ -
11/01/31	\$ 10,750,000	\$ -	\$ 246,993.75	\$ 949,000.00
05/01/32	\$ 10,750,000	\$ 465,000.00	\$ 246,993.75	\$ -
11/01/32	\$ 10,285,000	\$ -	\$ 236,531.25	\$ 948,525.00
05/01/33	\$ 10,285,000	\$ 490,000.00	\$ 236,531.25	\$ -
11/01/33	\$ 9,795,000	\$ -	\$ 225,506.25	\$ 952,037.50
05/01/34	\$ 9,795,000	\$ 510,000.00	\$ 225,506.25	\$ -
11/01/34	\$ 9,285,000	\$ -	\$ 214,031.25	\$ 949,537.50
05/01/35	\$ 9,285,000	\$ 535,000.00	\$ 214,031.25	\$ -
11/01/35	\$ 8,750,000	\$ -	\$ 201,993.75	\$ 951,025.00
05/01/36	\$ 8,750,000	\$ 560,000.00	\$ 201,993.75	\$ -
11/01/36	\$ 8,190,000	\$ -	\$ 189,393.75	\$ 951,387.50
05/01/37	\$ 8,190,000	\$ 585,000.00	\$ 189,393.75	\$ -
11/01/37	\$ 7,605,000	\$ -	\$ 175,865.63	\$ 950,259.38
05/01/38	\$ 7,605,000	\$ 615,000.00	\$ 175,865.63	\$ -
11/01/38	\$ 6,990,000	\$ -	\$ 161,643.75	\$ 952,509.38
05/01/39	\$ 6,990,000	\$ 640,000.00	\$ 161,643.75	\$ -
11/01/39	\$ 6,350,000	\$ -	\$ 146,843.75	\$ 948,487.50
05/01/40	\$ 6,350,000	\$ 670,000.00	\$ 146,843.75	\$ -
11/01/40	\$ 5,680,000	\$ -	\$ 131,350.00	\$ 948,193.75
05/01/41	\$ 5,680,000	\$ 705,000.00	\$ 131,350.00	\$ -
11/01/41	\$ 4,975,000	\$ -	\$ 115,046.88	\$ 951,396.88
05/01/42	\$ 4,975,000	\$ 735,000.00	\$ 115,046.88	\$ -
11/01/42	\$ 4,240,000	\$ -	\$ 98,050.00	\$ 948,096.88
05/01/43	\$ 4,240,000	\$ 770,000.00	\$ 98,050.00	\$ -
11/01/43	\$ 3,470,000	\$ -	\$ 80,243.75	\$ 948,293.75
05/01/44	\$ 3,470,000	\$ 810,000.00	\$ 80,243.75	\$ -
11/01/44	\$ 2,660,000	\$ -	\$ 61,512.50	\$ 951,756.25
05/01/45	\$ 2,660,000	\$ 845,000.00	\$ 61,512.50	\$ -
11/01/45	\$ 1,815,000	\$ -	\$ 41,971.88	\$ 948,484.38
05/01/46	\$ 1,815,000	\$ 885,000.00	\$ 41,971.88	\$ -
11/01/46	\$ 930,000	\$ -	\$ 21,506.25	\$ 948,478.13
05/01/47	\$ 930,000	\$ 930,000.00	\$ 21,506.25	\$ 951,506.25
Total	\$	\$ 13,490,000.00	\$ 8,361,487.50	\$ 21,851,487.50

Live Oak Lake

Community Development District

Proposed Budget

Debt Service Fund - Series 2020

Description	Adopted Budget FY 2025	Actual Thru 6/30/25	Projected Next 3 Months	Total Projected 9/30/25	Approved Budget FY 2026
Revenues					
Interest Income	\$5,000	\$35,304	\$11,768	\$47,072	\$5,000
Assessments - On Roll (Net)	\$143,562	\$144,065	\$0	\$144,065	\$143,562
Assessments - Direct	\$846,376	\$567,072	\$279,304	\$846,376	\$846,376
Carryforward Surplus ⁽¹⁾	\$452,102	\$457,424	\$0	\$457,424	\$505,154
TOTAL REVENUES	\$1,447,039	\$1,203,865	\$291,072	\$1,494,937	\$1,500,091
Expenditures					
Series 2020					
Interest - 11/01	\$339,894	\$339,894	\$0	\$339,894	\$335,050
Interest - 05/01	\$339,894	\$339,894	\$0	\$339,894	\$335,050
Principal - 05/01	\$310,000	\$310,000	\$0	\$310,000	\$325,000
TOTAL EXPENDITURES	\$989,788	\$989,788	\$0	\$989,788	\$995,100
EXCESS REVENUES	\$457,252	\$214,080	\$291,074	\$505,154	\$504,991

11/26 Interest \$328,875

Unit Type	No. of Units	Gross Assessment Per Unit Amount	Total
Duplex 35 FT Lot	238	\$975.00	\$232,050.00
Single Family - 50'	739	\$1,025.00	\$757,475.00
Single Family - 70'	48	\$1,325.00	\$63,600.00
	1025		\$1,053,125.00
		Less Discount/Collection Fees	(\$63,187.50)
		Net Assessment	\$989,937.50

⁽¹⁾ Carry forward surplus is net of the reserve requirement

Live Oak Lake

Community Development District

Amortization Schedule

Series 2020, Special Assessment Revenue Bonds

DATE	BALANCE	PRINCIPAL	INTEREST	TOTAL
05/01/25	\$ 15,390,000	\$ 310,000.00	\$ 339,893.75	\$ -
11/01/25	\$ 15,080,000	\$ -	\$ 335,050.00	\$ 984,943.75
05/01/26	\$ 15,080,000	\$ 325,000.00	\$ 335,050.00	\$ -
11/01/26	\$ 14,755,000	\$ -	\$ 328,875.00	\$ 988,925.00
05/01/27	\$ 14,755,000	\$ 335,000.00	\$ 328,875.00	\$ -
11/01/27	\$ 14,420,000	\$ -	\$ 322,510.00	\$ 986,385.00
05/01/28	\$ 14,420,000	\$ 350,000.00	\$ 322,510.00	\$ -
11/01/28	\$ 14,070,000	\$ -	\$ 315,860.00	\$ 988,370.00
05/01/29	\$ 14,070,000	\$ 360,000.00	\$ 315,860.00	\$ -
11/01/29	\$ 13,710,000	\$ -	\$ 309,020.00	\$ 984,880.00
05/01/30	\$ 13,710,000	\$ 375,000.00	\$ 309,020.00	\$ -
11/01/30	\$ 13,335,000	\$ -	\$ 301,895.00	\$ 985,915.00
05/01/31	\$ 13,335,000	\$ 390,000.00	\$ 301,895.00	\$ -
11/01/31	\$ 12,945,000	\$ -	\$ 293,315.00	\$ 985,210.00
05/01/32	\$ 12,945,000	\$ 410,000.00	\$ 293,315.00	\$ -
11/01/32	\$ 12,535,000	\$ -	\$ 284,295.00	\$ 987,610.00
05/01/33	\$ 12,535,000	\$ 430,000.00	\$ 284,295.00	\$ -
11/01/33	\$ 12,105,000	\$ -	\$ 274,835.00	\$ 989,130.00
05/01/34	\$ 12,105,000	\$ 445,000.00	\$ 274,835.00	\$ -
11/01/34	\$ 11,660,000	\$ -	\$ 265,045.00	\$ 984,880.00
05/01/35	\$ 11,660,000	\$ 465,000.00	\$ 265,045.00	\$ -
11/01/35	\$ 11,195,000	\$ -	\$ 254,815.00	\$ 984,860.00
05/01/36	\$ 11,195,000	\$ 490,000.00	\$ 254,815.00	\$ -
11/01/36	\$ 10,705,000	\$ -	\$ 244,035.00	\$ 988,850.00
05/01/37	\$ 10,705,000	\$ 510,000.00	\$ 244,035.00	\$ -
11/01/37	\$ 10,195,000	\$ -	\$ 232,815.00	\$ 986,850.00
05/01/38	\$ 10,195,000	\$ 535,000.00	\$ 232,815.00	\$ -
11/01/38	\$ 9,660,000	\$ -	\$ 221,045.00	\$ 988,860.00
05/01/39	\$ 9,660,000	\$ 555,000.00	\$ 221,045.00	\$ -
11/01/39	\$ 9,105,000	\$ -	\$ 208,835.00	\$ 984,880.00
05/01/40	\$ 9,105,000	\$ 580,000.00	\$ 208,835.00	\$ -
11/01/40	\$ 8,525,000	\$ -	\$ 196,075.00	\$ 984,910.00
05/01/41	\$ 8,525,000	\$ 610,000.00	\$ 196,075.00	\$ -
11/01/41	\$ 7,915,000	\$ -	\$ 182,045.00	\$ 988,120.00
05/01/42	\$ 7,915,000	\$ 640,000.00	\$ 182,045.00	\$ -
11/01/42	\$ 7,275,000	\$ -	\$ 167,325.00	\$ 989,370.00
05/01/43	\$ 7,275,000	\$ 670,000.00	\$ 167,325.00	\$ -
11/01/43	\$ 6,605,000	\$ -	\$ 151,915.00	\$ 989,240.00
05/01/44	\$ 6,605,000	\$ 700,000.00	\$ 151,915.00	\$ -
11/01/44	\$ 5,905,000	\$ -	\$ 135,815.00	\$ 987,730.00
05/01/45	\$ 5,905,000	\$ 730,000.00	\$ 135,815.00	\$ -
11/01/45	\$ 5,175,000	\$ -	\$ 119,025.00	\$ 984,840.00
05/01/46	\$ 5,175,000	\$ 765,000.00	\$ 119,025.00	\$ -
11/01/46	\$ 4,410,000	\$ -	\$ 101,430.00	\$ 985,455.00
05/01/47	\$ 4,410,000	\$ 805,000.00	\$ 101,430.00	\$ -
11/01/47	\$ 3,605,000	\$ -	\$ 82,915.00	\$ 989,345.00
05/01/48	\$ 3,605,000	\$ 840,000.00	\$ 82,915.00	\$ -
11/01/48	\$ 2,765,000	\$ -	\$ 63,595.00	\$ 986,510.00
05/01/49	\$ 2,765,000	\$ 880,000.00	\$ 63,595.00	\$ -
11/01/49	\$ 1,885,000	\$ -	\$ 43,355.00	\$ 986,950.00
05/01/50	\$ 1,885,000	\$ 920,000.00	\$ 43,355.00	\$ -
11/01/50	\$ 965,000	\$ -	\$ 22,195.00	\$ 985,550.00
05/01/51	\$ 965,000	\$ 965,000.00	\$ 22,195.00	\$ 987,195.00
Total		\$ 15,390,000.00	\$ 11,255,763.75	\$ 26,645,763.75

SECTION B

RESOLUTION 2025-06
[FY 2026 ASSESSMENT RESOLUTION]

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT PROVIDING FOR FUNDING FOR THE FY 2026 ADOPTED BUDGET(S); PROVIDING FOR THE COLLECTION AND ENFORCEMENT OF SPECIAL ASSESSMENTS, INCLUDING BUT NOT LIMITED TO PENALTIES AND INTEREST THEREON; CERTIFYING AN ASSESSMENT ROLL; PROVIDING FOR AMENDMENTS TO THE ASSESSMENT ROLL; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Live Oak Lake Community Development District (“**District**”) is a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, for the purpose of providing, operating and maintaining infrastructure improvements, facilities and services to the lands within the District, located in Osceola County, Florida (“**County**”); and

WHEREAS, the District has constructed or acquired various infrastructure improvements and provides certain services in accordance with the District’s adopted capital improvement plan and Chapter 190, *Florida Statutes*; and

WHEREAS, for the fiscal year beginning October 1, 2025, and ending September 30, 2026 (“**FY 2026**”), the Board of Supervisors (“**Board**”) of the District has determined to undertake various operations and maintenance and other activities described in the District’s budget (“**Adopted Budget**”), attached hereto as **Exhibit A**; and

WHEREAS, pursuant to Chapter 190, *Florida Statutes*, the District may fund the Adopted Budget through the levy and imposition of special assessments on benefitted lands within the District and, regardless of the imposition method utilized by the District, under Florida law the District may collect such assessments by direct bill, tax roll, or in accordance with other collection measures provided by law; and

WHEREAS, in order to fund the District’s Adopted Budget, the District’s Board now desires to adopt this Resolution setting forth the means by which the District intends to fund its Adopted Budget.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT:

1. **FUNDING.** The District’s Board hereby authorizes the funding mechanisms for the Adopted Budget as provided further herein and as indicated in the Adopted Budget attached hereto as **Exhibit A** and the assessment roll attached hereto as **Exhibit B** (“**Assessment Roll**”).

2. OPERATIONS AND MAINTENANCE ASSESSMENTS.

a. **Benefit Findings.** The provision of the services, facilities, and operations as described in **Exhibit A** confers a special and peculiar benefit to the lands within the District, which benefit exceeds or equals the cost of the assessments. The allocation of the assessments to the specially benefitted lands is shown in **Exhibit A** and **Exhibit B** and is hereby found to be fair and reasonable.

b. **O&M Assessment Imposition.** Pursuant to Chapter 190, *Florida Statutes*, a special assessment for operations and maintenance (“**O&M Assessment(s)**”) is

c. Maximum Rate. Pursuant to Section 197.3632(4), *Florida Statutes*, the lien amount shall serve as the “maximum rate” authorized by law for operation and maintenance assessments.

- 4901-1918-4452.1

iii. In the event that an Assessment payment is not made in accordance with the schedule(s) stated above, the whole of such Assessment, including any remaining partial, deferred payments for the Fiscal Year: shall immediately become due and payable; shall accrue interest, penalties in the amount of one percent (1%) per month, and all costs of collection and enforcement; and shall either be enforced pursuant to a foreclosure action, or, at the District's sole discretion, collected pursuant to the Uniform Method on a future tax bill, which amount may include penalties, interest, and costs of collection and enforcement. Any prejudgment interest on delinquent Assessments shall accrue at the rate of any bonds secured by the Assessments, or at the statutory prejudgment interest rate, as applicable. In the event an Assessment subject to direct collection by the District shall be delinquent, the District Manager and District Counsel, without further authorization by the Board, may initiate foreclosure proceedings pursuant to Chapter 170, *Florida Statutes*, or other applicable law to collect and enforce the whole Assessment, as set forth herein.

c. **Future Collection Methods.** The District's decision to collect Assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect special assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

5. **ASSESSMENT ROLL; AMENDMENTS.** The Assessment Roll, attached hereto as **Exhibit B**, is hereby certified for collection. The Assessment Roll shall be collected pursuant to the collection methods provided above. The proceeds therefrom shall be paid to the District. The District Manager shall keep apprised of all updates made to the County property roll by the Property Appraiser after the date of this Resolution and shall amend the Assessment Roll in accordance with any such updates, for such time as authorized by Florida law, to the County property roll.

6. **SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

7. **EFFECTIVE DATE.** This Resolution shall take effect upon the passage and adoption of this Resolution by the Board.

PASSED AND ADOPTED this 17th day of July 2025.

ATTEST:

**LIVE OAK LAKE COMMUNITY
DEVELOPMENT DISTRICT**

Secretary / Assistant Secretary

By:_____

Its:_____

Exhibit A: Budget
Exhibit B: Assessment Roll

Live Oak Lake CDD FY 26 Assessment Roll

ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
17-26-31-5261-0001-0010	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0020	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0030	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0040	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0050	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0060	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0070	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0080	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0090	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0100	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0110	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0120	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0130	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0140	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0150	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0160	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0170	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0180	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0190	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0200	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-0210	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0220	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0230	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0240	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0250	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0260	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0270	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0280	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0290	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0300	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0310	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0320	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0330	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0340	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0350	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0360	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0370	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0380	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0390	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0400	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0410	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0420	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0430	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0440	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0450	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-0460	1	50	\$540.53	\$1,025.00		\$1,

[illegible]

ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
17-26-31-5261-0001-1160	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1170	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1180	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1190	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1200	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1210	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1220	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1230	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1240	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1250	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1260	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1270	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1280	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1290	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1300	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1310	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1320	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1330	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1340	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1350	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1360	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1370	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1380	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1390	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1400	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1410	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1420	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1430	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1440	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1450	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1460	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1470	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1480	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1490	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1500	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1510	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1520	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1530	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1540	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1550	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1560	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1570	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1580	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1590	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1600	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1610	1	70	\$756.74	\$1,325.00		\$2,

ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
17-26-31-5261-0001-1750	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1760	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1770	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1780	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1790	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1800	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1810	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-1820	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1830	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1840	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1850	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1860	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1870	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1880	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1890	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1900	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1910	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1920	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1930	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1940	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1950	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1960	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-1970	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1980	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-1990	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2000	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2010	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2020	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2030	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2040	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2050	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2060	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2070	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2080	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2090	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-2110	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2120	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2130	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2140	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-2150	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-2160	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5261-0001-2170	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2180	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2190	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5261-0001-2200	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2210	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2220	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5261-0001-2230	1	35	\$378.37	\$975.00		\$1,353.37
17-26-31-5262-0001-6000	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6010	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6020	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6030	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6040	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6050	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6060	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6070	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6080	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6090	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6100	1	70	\$756.74	\$1,325.00		\$2,081.74

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ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
17-26-31-5262-0001-6700	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6710	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6720	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6730	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6740	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6750	1	70	\$756.74	\$1,325.00		\$2,081.74
17-26-31-5262-0001-6760	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6770	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6780	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6790	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6800	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6810	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6820	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6830	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6840	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6850	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6860	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6870	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6880	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6890	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6900	1	50	\$540.53	\$0.00		\$540.53
17-26-31-5262-0001-6910	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6920	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6930	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6940	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6950	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6960	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6970	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6980	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-6990	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7000	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7010	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7020	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7030	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7040	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7050	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7060	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7070	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7080	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7090	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7100	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7110	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7120	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7130	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7140	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7150	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7160	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7170	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7180	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7190	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7200	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7210	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7220	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7230	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7240	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7250	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7260	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7270	1	50	\$540.53	\$1,025.00		\$1,565.53
17-26-31-5262-0001-7280	1	50	\$540.53	\$1,025.00		\$1,565.53

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ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
17-26-31-5267-0001-9590	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9600	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9610	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9620	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9630	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9640	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9650	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9660	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9670	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9680	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9690	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9700	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9710	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9720	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9730	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9740	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9750	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9760	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9770	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9780	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9790	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9800	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9810	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9820	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9830	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9840	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9850	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9860	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9870	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9880	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9890	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9900	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9910	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9920	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9930	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9940	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9950	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9960	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9970	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9980	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5267-0001-9990	1	50	\$540.53		\$1,025.00	\$1,565.53
17-26-31-5268-0001-1355	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1356	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1357	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1358	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1359	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1360	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1361	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1362	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1363	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1364	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1365	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1366	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1367	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1368	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1369	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1370	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1371	1	35	\$378.37		\$975.00	\$1,353.37
17-26-31-5268-0001-1372	1	35	\$378.37		\$975.00	\$1,353.37

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ParcelID	Units	Type	FY 26 O&M	2016 Debt	2020 Debt	Total
20-26-31-5331-0001-1313	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1314	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1315	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1316	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1317	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1318	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1319	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1320	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1321	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1322	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1323	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1324	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1325	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1326	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1327	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1328	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1329	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1330	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1331	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1332	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1333	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1334	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1335	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1336	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1337	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1338	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1339	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1340	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1341	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1342	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1343	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1344	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1345	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1346	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1347	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1348	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1349	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1350	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1351	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1352	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1353	1	50	\$540.53		\$1,025.00	\$1,565.53
20-26-31-5331-0001-1354	1	50	\$540.53		\$1,025.00	\$1,565.53
Total Gross Onroll	1455		\$730,255.29	\$1,013,900.00	\$484,300.00	\$2,228,455.29
Total Net Onroll			\$686,439.97	\$953,066.00	\$455,242.00	\$2,094,747.97
Direct Billing	Acres					
17-26-31-5258-0001-FD30	34.73		\$81,728.08		\$151,900.00	\$233,628.08
17-26-31-5258-0001-FD50	58.84		\$68,062.71		\$131,905.94	\$199,968.65
17-26-31-5258-0001-FD60	127.14		\$147,068.20		\$285,019.06	\$432,087.26
Total Gross Direct	220.71		\$296,858.99		\$568,825.00	\$865,683.99
Total Net Direct			\$279,047.45		\$534,695.50	\$813,742.95
Total Gross Assessments			\$1,027,114.28	\$1,013,900.00	\$1,053,125.00	\$3,094,139.28
Total Net Assessments			\$965,487.42	\$953,066.00	\$989,937.50	\$2,908,490.92

SECTION V

DIRECT COLLECTION AGREEMENT
[FY 2026 – Phase 3]

This **Agreement** ("**Agreement**") is made and entered into as of this July 17, 2025, by and between:

LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, and located in Osceola County, Florida (hereinafter "**District**"), and

PULTE HOME COMPANY, LLC, a Michigan limited liability company, the owner and primary developer of lands within the District, and whose address is 3350 Peachtree Road Northeast, Suite 1500, Atlanta, Georgia 30326 ("**Property Owner**"). For purposes of this Agreement, the term "**Property**" shall refer to that certain property within Phase 3 as more particularly described in **Exhibit A** attached hereto (the "**Property**").

RECITALS

WHEREAS, the District was established by an ordinance adopted by Osceola County, Florida, for the purpose of planning, financing, constructing, operating and/or maintaining certain infrastructure; and

WHEREAS, the District, pursuant to Chapter 190, *Florida Statutes*, is authorized to levy such taxes, special assessments, fees and other charges as may be necessary in furtherance of the District's activities and services; and

WHEREAS, the Property will benefit from the timely construction and acquisition of the District's facilities, activities and services and from the continued operations of the District; and

WHEREAS, the Board of Supervisors ("**Board**") of the District has determined to undertake various operations and maintenance and other activities described in the District's budget ("**Adopted Budget**") for the fiscal year beginning October 1, 2025 and ending September 30, 2026 ("**FY 2026**"); and

WHEREAS, pursuant to sections 190.021 and 190.022, *Florida Statutes*, the District may fund the Adopted Budget through the levy and imposition of special assessments on benefitted lands within the District ("**O&M Assessments**"), and, regardless of imposition method, and pursuant to sections 190.021, 190.022, and 190.026, and Chapters 170 and 197, *Florida Statutes*, the District may collect such O&M Assessments by direct bill or on the tax roll; and

WHEREAS, Property Owner agrees that the O&M Assessments, which were imposed on the lands within the District, including the Property, have been validly imposed and constitute valid, legal and binding liens upon the lands within the District; and

WHEREAS, pursuant to section 197.3632, *Florida Statutes*, the District intends to utilize the uniform method (“**Uniform Method**”) of levying, collecting and enforcing the O&M Assessments, and previously levied debt services assessments (“**Debt Assessments**”) if any (together, the “**Special Assessments**”), against the Property once platted and collect such Special Assessments on the Osceola County tax roll for platted lots; and

WHEREAS, the District and Property Owner desire to arrange for the direct collection of the District’s Special Assessments prior to platting of the Property or in the event the Uniform Method is otherwise not available; and

WHEREAS, Property Owner desires to provide for the direct payment of the Special Assessments relating to the Property.

NOW, THEREFORE, based upon good and valuable consideration and the mutual covenants of the parties, the receipt of which and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. **RECITALS.** The recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Agreement.

2. **VALIDITY OF SPECIAL ASSESSMENTS.** Property Owner agrees that the Special Assessments have been validly imposed and constitute valid, legal, and binding liens upon the lands within the District. Property Owner hereby waives and relinquishes any rights it may have to challenge, object to, or otherwise fail to pay such Special Assessments.

3. **COVENANT TO PAY.** Property Owner agrees to pay the O&M Assessments and its previously levied Debt Assessments attributable to the Property, regardless of whether Property Owner owns the Property at the time of such payment. Nothing herein shall prohibit Property Owner from prorating or otherwise collecting these Special Assessments from subsequent purchasers of the Property. The District shall send a bill to Property Owner on or about September 15, 2025, indicating the exact amount of the O&M Assessments and Debt Assessments being certified for collection in FY 2026. If Property Owner does not pay such invoice in full on or prior to December 1, 2025, then to the extent permitted by law, Property Owner may pay the Special Assessments in several partial, deferred payments and according to the following schedule: (i) for O&M Assessments, 34% due no later than October 15, 2025, 33% due no later than January 1, 2026, and 33% due no later than March 1, 2026; and (ii) for Debt Assessments, 67% due no later than April 1, 2026, and 33% due no later than October 1, 2026. The District’s decision to collect Special Assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect Special Assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

4. **ENFORCEMENT.** This Agreement shall serve as an alternative method for collection of the Special Assessments. This Agreement shall not affect the District’s ability to collect and

enforce its Special Assessments by any other method authorized by Florida law. Property Owner acknowledges that the failure to pay the Special Assessments may result in the initiation of a foreclosure action, or, at the District's sole discretion, delinquent assessments may be certified for collection on a future Osceola County tax bill. In the event that an assessment payment is not made in accordance with the schedule stated above, the whole assessment – including any remaining partial, deferred payments for FY 2026, as well as any future installments of special assessments securing debt service – shall immediately become due and payable; shall accrue interest, penalties in the amount of one percent (1%) per month, and all costs of collection and enforcement; and shall either be enforced pursuant to a foreclosure action, or, at the District's sole discretion, collected pursuant to the Uniform Method on a future tax bill, which amount may include penalties, interest, and costs of collection and enforcement. Any prejudgment interest on delinquent assessments shall accrue at the applicable rate of any bonds or other debt instruments secured by the Special Assessments, or, in the case of operations and maintenance assessments, at the applicable statutory prejudgment interest rate. In the event an assessment subject to direct collection by the District shall be delinquent, the District Manager and District Counsel, without further authorization by the Board, may initiate legal proceedings pursuant to Chapter 170, *Florida Statutes*, or other applicable law to collect and enforce the whole assessment, as set forth herein.

5. **NOTICE.** All notices, payments and other communications hereunder ("**Notices**") shall be in writing and shall be delivered, mailed by First Class Mail, postage prepaid, or telecopied to the parties, as follows:

If to Property Owner:	Pulte Home Company, LLC 3350 Peachtree Road Northeast, Suite 1500 Atlanta, Georgia 30326 Attn: _____
If to the District:	Live Oak Lake Community Development District 219 East Livingston Street Orlando, Florida 32801 Attn: District Manager
With a copy to:	Kutak Rock LLP 107 West College Avenue Tallahassee, Florida 32301 Attn: District Counsel

6. **AMENDMENT.** This instrument shall constitute the final and complete expression of the agreement between the parties relating to the subject matter of this Agreement. Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing which is executed by both of the parties hereto.

7. **AUTHORITY.** The execution of this Agreement has been duly authorized by the appropriate body or official of all parties hereto, each party has complied with all the

requirements of law, and each party has full power and authority to comply with the terms and provisions of this instrument.

8. **ASSIGNMENT.** This Agreement may not be assigned, in whole or in part, by either party except upon the written consent of the other, which consent shall not be unreasonable withheld; provided however, that Property Owner may assign this Agreement to Pulte Home Company, LLC ("**Pulte**") upon Pulte becoming the successor-in-interest of all of the Property without obtaining the prior written consent of the District provided Pulte expressly assumes in writing all of Property Owner's obligations hereunder and Property Owner files notice of such assignment and assumption with the District.

9. **DEFAULT.** A default by either party under this Agreement shall entitle the other to all remedies available at law or in equity, which shall include, but not be limited to, the right of damages, injunctive relief and specific performance and specifically including the ability of the District to enforce any and all payment obligations under this Agreement through the imposition and enforcement of a contractual or other lien on property owned by the Property Owner.

10. **ATTORNEYS' FEES.** In the event that either party is required to enforce this Agreement by court proceedings or otherwise, then the parties agree that the prevailing party shall be entitled to recover from the other all costs incurred, including reasonable attorneys' fees and costs for trial, alternative dispute resolution, or appellate proceedings.

11. **BENEFICIARIES.** This Agreement is solely for the benefit of the formal parties herein and no right or cause of action shall accrue upon or by reason hereof, to or for the benefit of any third party not a formal party hereto. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person or corporation other than the parties hereto any right, remedy or claim under or by reason of this Agreement or any provisions or conditions hereof; and all of the provisions, representations, covenants and conditions herein contained shall inure to the sole benefit of and shall be binding upon the parties hereto and their respective representatives, successors and assigns.

12. **APPLICABLE LAW.** This Agreement and the provisions contained herein shall be construed, interpreted and controlled according to the laws of the State of Florida.

13. **NEGOTIATION AT ARM'S LENGTH.** This Agreement has been negotiated fully between the parties as an arm's length transaction. The parties participated fully in the preparation of this Agreement with the assistance of their respective counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, the parties are each deemed to have drafted, chosen and selected the language, and the doubtful language will not be interpreted or construed against any party.

14. **EFFECTIVE DATE.** The Agreement shall take effect as of July 17, 2025.

IN WITNESS WHEREOF, the parties execute this agreement the day and year first written above.

Attest:

LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT

Secretary/Assistant Secretary

By: _____
Its: _____

PULTE HOME COMPANY, LLC,
a Michigan limited liability company

Witness

By: _____
Name: _____
Title: _____

EXHIBIT A
Description of the Property
[Phase 3]

TWIN LAKES PHASE 3 LEGAL DESCRIPTION

A PORTION OF TRACT FD-1, TWIN LAKES CONNECTOR ROAD ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 186-193, OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA, BEING LOCATED IN SECTION 17, TOWNSHIP 26 SOUTH, RANGE 31 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 22, TWIN LAKES PHASE 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGES 172-178 OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID TWIN LAKE PHASE 1, N32°52'15"E, A DISTANCE OF 162.76 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF BULLIS ROAD AS RECORDED IN OFFICIAL RECORDS BOOK 4900, PAGE 2827, PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; THENCE ALONG SAID SOUTHWESTERLY LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES; S53°26'17"E A DISTANCE OF 895.13 FEET; THENCE S89°38'45"E, A DISTANCE OF 586.97 FEET; THENCE DEPARTING SAID SOUTHWESTERLY LINE, RUN S00°04'08"E, A DISTANCE OF 40.00 FEET; THENCE S73°38'47"E, A DISTANCE OF 47.96 FEET; THENCE S16°21'13"W, A DISTANCE OF 124.52 FEET; THENCE S73°38'47"E, A DISTANCE OF 52.00 FEET; THENCE S16°21'13"W, A DISTANCE OF 16.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S28°38'47"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE S16°21'13"W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S61°21'13"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY; THENCE S16°21'13"W, A DISTANCE OF 192.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S28°38'47"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE S16°21'13"W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S61°21'13"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY; THENCE S16°21'13"W, A DISTANCE OF 192.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S28°38'47"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY; THENCE S73°38'47"E, A DISTANCE OF 4.00 FEET; THENCE S16°21'13"W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S61°21'13"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE S16°21'13"W, A DISTANCE OF 4.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 13°07'26", A CHORD BEARING OF S09°47'30"W AND A CHORD DISTANCE OF 107.42 FEET; THENCE RUN SOUTHERLY ALONG

THE ARC OF SAID CURVE, A DISTANCE OF 107.66 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 186.00 FEET, A CENTRAL ANGLE OF 04°09'23", A CHORD BEARING OF S01°09'06"W AND A CHORD DISTANCE OF 13.49 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 13.49 FEET TO THE END OF SAID CURVE; THENCE N89°04'25"E, A DISTANCE OF 5.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 181.00 FEET, A CENTRAL ANGLE OF 24°48'06", A CHORD BEARING OF S13°19'38"E AND A CHORD DISTANCE OF 77.74 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 78.35 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 105.00 FEET, A CENTRAL ANGLE OF 27°54'35", A CHORD BEARING OF S11°46'24"E AND A CHORD DISTANCE OF 50.64 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 51.15 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 560.00 FEET, A CENTRAL ANGLE OF 14°10'20", A CHORD BEARING OF S09°16'03"W AND A CHORD DISTANCE OF 138.16 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 138.52 FEET TO THE POINT OF TANGENCY; THENCE S16°21'13"W, A DISTANCE OF 16.41 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 06°51'37", A CHORD BEARING OF S12°55'25"W AND A CHORD DISTANCE OF 21.54 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 21.55 FEET TO THE END OF SAID CURVE; THENCE N81°01'00"W, A DISTANCE OF 4.80 FEET; THENCE N80°31'11"W, A DISTANCE OF 56.94 FEET; THENCE N73°38'47"W, A DISTANCE OF 60.00 FEET TO A POINT ON THE EAST LINE OF TRACT SWN-16, OF AFOREMENTIONED PLAT OF TWIN LAKES CONNECTOR ROAD; THENCE ALONG THE EAST LINE OF TRACT SWN-16 AND THE NORTH LINE OF TRACT SWN-16 AND OSN-1 THE FOLLOWING THIRTEEN (13) COURSES AND DISTANCES; N16°21'13"E, A DISTANCE OF 45.35 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 440.00 FEET, A CENTRAL ANGLE OF 12°15'31", A CHORD BEARING OF N10°13'27"E AND A CHORD DISTANCE OF 93.96 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 94.14 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 105.00 FEET, A CENTRAL ANGLE OF 18°46'59", A CHORD BEARING OF N13°29'11"E AND A CHORD DISTANCE OF 34.27 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 34.42 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 181.00 FEET, A CENTRAL ANGLE OF 24°21'49", A CHORD BEARING OF N10°41'46"E AND A CHORD DISTANCE OF 76.39 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 76.97 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 535.00 FEET, A CENTRAL ANGLE OF 07°47'20", A CHORD BEARING OF N02°24'32"E AND A CHORD DISTANCE OF 72.67 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 72.73 FEET TO THE END OF SAID CURVE; THENCE N83°10'01"W, A DISTANCE OF 40.81 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 693.81 FEET, A CENTRAL ANGLE OF 19°48'38", A CHORD BEARING OF N89°41'35"W AND A CHORD DISTANCE OF 238.70 FEET; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 239.89 FEET TO THE END OF SAID CURVE; THENCE S82°47'19"W, A DISTANCE OF 17.84 FEET; THENCE S82°43'26"W, A DISTANCE OF 343.79 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 758.58 FEET, A CENTRAL ANGLE OF 47°37'36", A CHORD BEARING OF N73°42'33"W AND A CHORD DISTANCE OF 612.56 FEET; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 630.56 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 651.03 FEET, A CENTRAL ANGLE OF 23°00'28", A CHORD BEARING OF N58°09'04"W AND A CHORD DISTANCE OF 259.67 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 261.43 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 666.00 FEET, A CENTRAL ANGLE OF 34°06'36", A CHORD BEARING OF N52°36'00"W AND A CHORD DISTANCE OF 390.66 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 396.49 FEET TO THE END OF SAID CURVE; THENCE N35°32'41"W, A

DISTANCE OF 115.95 FEET TO THE EASTERLY LINE OF AFOREMENTIONED TWIN LAKE PHASE 1; THENCE RUN ALONG THE SOUTHEASTERLY, SOUTHWESTERLY AND NORTHEASTERLY LINES OF SAID TWIN LAKES PHASE 1 THE FOLLOWING TWENTY THREE (23) COURSES AND DISTANCES: N54°27'19"E, A DISTANCE OF 126.00 FEET; THENCE S35°32'41"E, A DISTANCE OF 41.69 FEET; THENCE N54°27'19"E, A DISTANCE OF 52.00 FEET; THENCE N35°32'41"W, A DISTANCE OF 10.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N09°27'19"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY; THENCE N54°27'19"E, A DISTANCE OF 77.99 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 526.00 FEET, A CENTRAL ANGLE OF 02°04'18", A CHORD BEARING OF N53°25'10"E AND A CHORD DISTANCE OF 19.02 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 19.02 FEET TO THE POINT OF TANGENCY; THENCE S35°32'41"E, A DISTANCE OF 113.92 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 352.00 FEET, A CENTRAL ANGLE OF 34°18'54", A CHORD BEARING OF S52°42'08"E AND A CHORD DISTANCE OF 207.68 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 210.82 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 948.00 FEET, A CENTRAL ANGLE OF 21°38'03", A CHORD BEARING OF S59°02'34"E AND A CHORD DISTANCE OF 355.83 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 357.95 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 452.00 FEET, A CENTRAL ANGLE OF 28°59'20", A CHORD BEARING OF S62°43'12"E AND A CHORD DISTANCE OF 226.26 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 228.69 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 526.00 FEET, A CENTRAL ANGLE OF 11°30'30", A CHORD BEARING OF N25°21'30"E AND A CHORD DISTANCE OF 105.47 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 105.65 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 574.00 FEET, A CENTRAL ANGLE OF 16°04'29", A CHORD BEARING OF N23°04'31"E AND A CHORD DISTANCE OF 160.51 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 161.04 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 726.00 FEET, A CENTRAL ANGLE OF 15°04'21", A CHORD BEARING OF N22°34'27"E AND A CHORD DISTANCE OF 190.43 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 190.98 FEET TO THE END OF SAID CURVE; THENCE N49°11'17"W, A DISTANCE OF 303.63 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 748.00 FEET, A CENTRAL ANGLE OF 26°59'21", A CHORD BEARING OF N51°51'30"W AND A CHORD DISTANCE OF 349.10 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 352.35 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 452.00 FEET, A CENTRAL ANGLE OF 18°05'43", A CHORD BEARING OF N47°24'40"W AND A CHORD DISTANCE OF 142.16 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.75 FEET TO THE END OF SAID CURVE; THENCE N32°52'15"E, A DISTANCE OF 96.19 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 93°09'45", A CHORD BEARING OF N79°27'08"E AND A CHORD DISTANCE OF 36.32 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 40.65 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 574.00 FEET, A CENTRAL ANGLE OF 00°56'48", A CHORD BEARING OF S53°29'35"E AND A CHORD DISTANCE OF 9.48 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 9.48 FEET TO THE END OF SAID CURVE; THENCE N36°58'49"E, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 626.00 FEET, A CENTRAL ANGLE OF 04°06'33", A CHORD BEARING OF N55°04'28"W AND A CHORD DISTANCE OF 44.89 FEET; THENCE RUN NORTHWESTERLY

ALONG THE ARC OF SAID CURVE, A DISTANCE OF 44.90 FEET TO THE END OF SAID CURVE; THENCE N57°07'45"W, A DISTANCE OF 1.97 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1,512,660 SQUARE FEET OR 34.73 ACRES MORE OR LESS.

SECTION VI

DIRECT COLLECTION AGREEMENT
[FY 2026 – Phases 5 & 6]

This **Agreement** ("**Agreement**") is made and entered into as of this July 17, 2025, by and between:

LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT, a local unit of special-purpose government established pursuant to Chapter 190, *Florida Statutes*, and located in Osceola County, Florida (hereinafter "**District**"), and

NARCOOSSEE LAND VENTURES, LLC, a Florida limited liability company, the owner and primary developer of lands within the District, and whose address is 283 Cranes Roost Blvd., Suite 250, Altamonte Springs, Florida 32701 ("**Property Owner**"). For purposes of this Agreement, the term "**Property**" shall refer to that certain property within Phases 5 and 6 as more particularly described in **Exhibit A** attached hereto (the "**Property**").

RECITALS

WHEREAS, the District was established by an ordinance adopted by Osceola County, Florida, for the purpose of planning, financing, constructing, operating and/or maintaining certain infrastructure; and

WHEREAS, the District, pursuant to Chapter 190, *Florida Statutes*, is authorized to levy such taxes, special assessments, fees and other charges as may be necessary in furtherance of the District's activities and services; and

WHEREAS, the Property will benefit from the timely construction and acquisition of the District's facilities, activities and services and from the continued operations of the District; and

WHEREAS, the Board of Supervisors ("**Board**") of the District has determined to undertake various operations and maintenance and other activities described in the District's budget ("**Adopted Budget**") for the fiscal year beginning October 1, 2025 and ending September 30, 2026 ("**FY 2026**"); and

WHEREAS, pursuant to sections 190.021 and 190.022, *Florida Statutes*, the District may fund the Adopted Budget through the levy and imposition of special assessments on benefitted lands within the District ("**O&M Assessments**"), and, regardless of imposition method, and pursuant to sections 190.021, 190.022, and 190.026, and Chapters 170 and 197, *Florida Statutes*, the District may collect such O&M Assessments by direct bill or on the tax roll; and

WHEREAS, Property Owner agrees that the O&M Assessments, which were imposed on the lands within the District, including the Property, have been validly imposed and constitute valid, legal and binding liens upon the lands within the District; and

WHEREAS, pursuant to section 197.3632, *Florida Statutes*, the District intends to utilize the uniform method (“**Uniform Method**”) of levying, collecting and enforcing the O&M Assessments, and previously levied debt services assessments (“**Debt Assessments**”) if any (together, the “**Special Assessments**”), against the Property once platted and collect such Special Assessments on the Osceola County tax roll for platted lots; and

WHEREAS, the District and Property Owner desire to arrange for the direct collection of the District’s Special Assessments prior to platting of the Property or in the event the Uniform Method is otherwise not available; and

WHEREAS, Property Owner desires to provide for the direct payment of the Special Assessments relating to the Property.

NOW, THEREFORE, based upon good and valuable consideration and the mutual covenants of the parties, the receipt of which and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. **RECITALS.** The recitals so stated are true and correct and by this reference are incorporated into and form a material part of this Agreement.

2. **VALIDITY OF SPECIAL ASSESSMENTS.** Property Owner agrees that the Special Assessments have been validly imposed and constitute valid, legal, and binding liens upon the lands within the District. Property Owner hereby waives and relinquishes any rights it may have to challenge, object to, or otherwise fail to pay such Special Assessments.

3. **COVENANT TO PAY.** Property Owner agrees to pay the O&M Assessments and its previously levied Debt Assessments attributable to the Property, regardless of whether Property Owner owns the Property at the time of such payment. Nothing herein shall prohibit Property Owner from prorating or otherwise collecting these Special Assessments from subsequent purchasers of the Property. The District shall send a bill to Property Owner on or about September 15, 2025, indicating the exact amount of the O&M Assessments and Debt Assessments being certified for collection in FY 2026. If Property Owner does not pay such invoice in full on or prior to December 1, 2025, then to the extent permitted by law, Property Owner may pay the Special Assessments in several partial, deferred payments and according to the following schedule: (i) for O&M Assessments, 34% due no later than October 15, 2025, 33% due no later than January 1, 2026, and 33% due no later than March 1, 2026; and (ii) for Debt Assessments, 67% due no later than April 1, 2026, and 33% due no later than October 1, 2026. The District’s decision to collect Special Assessments by any particular method – e.g., on the tax roll or by direct bill – does not mean that such method will be used to collect Special Assessments in future years, and the District reserves the right in its sole discretion to select collection methods in any given year, regardless of past practices.

4. **ENFORCEMENT.** This Agreement shall serve as an alternative method for collection of the Special Assessments. This Agreement shall not affect the District’s ability to collect and

enforce its Special Assessments by any other method authorized by Florida law. Property Owner acknowledges that the failure to pay the Special Assessments may result in the initiation of a foreclosure action, or, at the District's sole discretion, delinquent assessments may be certified for collection on a future Osceola County tax bill. In the event that an assessment payment is not made in accordance with the schedule stated above, the whole assessment – including any remaining partial, deferred payments for FY 2026, as well as any future installments of special assessments securing debt service – shall immediately become due and payable; shall accrue interest, penalties in the amount of one percent (1%) per month, and all costs of collection and enforcement; and shall either be enforced pursuant to a foreclosure action, or, at the District's sole discretion, collected pursuant to the Uniform Method on a future tax bill, which amount may include penalties, interest, and costs of collection and enforcement. Any prejudgment interest on delinquent assessments shall accrue at the applicable rate of any bonds or other debt instruments secured by the Special Assessments, or, in the case of operations and maintenance assessments, at the applicable statutory prejudgment interest rate. In the event an assessment subject to direct collection by the District shall be delinquent, the District Manager and District Counsel, without further authorization by the Board, may initiate legal proceedings pursuant to Chapter 170, *Florida Statutes*, or other applicable law to collect and enforce the whole assessment, as set forth herein.

5. **NOTICE.** All notices, payments and other communications hereunder ("**Notices**") shall be in writing and shall be delivered, mailed by First Class Mail, postage prepaid, or telecopied to the parties, as follows:

If to Property Owner:	Narcoossee Land Ventures, LLC 283 Cranes Roost Blvd., Suite 250 Altamonte Springs, Florida 32701 Attn: Amanda Caruso
If to the District:	Live Oak Lake Community Development District 219 East Livingston Street Orlando, Florida 32801 Attn: District Manager
With a copy to:	Kutak Rock LLP 107 West College Avenue Tallahassee, Florida 32301 Attn: District Counsel

6. **AMENDMENT.** This instrument shall constitute the final and complete expression of the agreement between the parties relating to the subject matter of this Agreement. Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing which is executed by both of the parties hereto.

7. **AUTHORITY.** The execution of this Agreement has been duly authorized by the appropriate body or official of all parties hereto, each party has complied with all the

requirements of law, and each party has full power and authority to comply with the terms and provisions of this instrument.

8. **ASSIGNMENT.** This Agreement may not be assigned, in whole or in part, by either party except upon the written consent of the other, which consent shall not be unreasonable withheld.

9. **DEFAULT.** A default by either party under this Agreement shall entitle the other to all remedies available at law or in equity, which shall include, but not be limited to, the right of damages, injunctive relief and specific performance and specifically including the ability of the District to enforce any and all payment obligations under this Agreement through the imposition and enforcement of a contractual or other lien on property owned by the Property Owner.

10. **ATTORNEYS' FEES.** In the event that either party is required to enforce this Agreement by court proceedings or otherwise, then the parties agree that the prevailing party shall be entitled to recover from the other all costs incurred, including reasonable attorneys' fees and costs for trial, alternative dispute resolution, or appellate proceedings.

11. **BENEFICIARIES.** This Agreement is solely for the benefit of the formal parties herein and no right or cause of action shall accrue upon or by reason hereof, to or for the benefit of any third party not a formal party hereto. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person or corporation other than the parties hereto any right, remedy or claim under or by reason of this Agreement or any provisions or conditions hereof; and all of the provisions, representations, covenants and conditions herein contained shall inure to the sole benefit of and shall be binding upon the parties hereto and their respective representatives, successors and assigns.

12. **APPLICABLE LAW.** This Agreement and the provisions contained herein shall be construed, interpreted and controlled according to the laws of the State of Florida.

13. **NEGOTIATION AT ARM'S LENGTH.** This Agreement has been negotiated fully between the parties as an arm's length transaction. The parties participated fully in the preparation of this Agreement with the assistance of their respective counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, the parties are each deemed to have drafted, chosen and selected the language, and the doubtful language will not be interpreted or construed against any party.

14. **EFFECTIVE DATE.** The Agreement shall take effect as of August 7, 2024.

IN WITNESS WHEREOF, the parties execute this agreement the day and year first written above.

Attest:

LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT

Secretary/Assistant Secretary

By: _____
Its: _____

NARCOOSSEE LAND VENTURES, LLC,
a Florida limited liability company

Witness

By: _____
Name: _____
Title: _____

EXHIBIT A
Description of the Property
[Phases 5 & 6]

TWIN LAKES PHASES 5 & 6 LEGAL DESCRIPTION:

A PORTION OF TRACT FD-1, TWIN LAKES CONNECTOR ROAD ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 186 TO 193 OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA SITUATED IN SECTIONS 16 AND 17, TOWNSHIP 26 SOUTH, RANGE 31 EAST BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 17; THENCE S89°33'33"E ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17, A DISTANCE OF 1126.57 FEET TO THE POINT OF BEGINNING; THENCE RUN ALONG THE WESTERLY LINE OF SAID TRACT FD-1 THE FOLLOWING TWENTY THREE (23) COURSES, N00°29'57"E, A DISTANCE OF 55.00 FEET; THENCE S89°33'33"E, A DISTANCE OF 39.29 FEET; THENCE N00°27'40"E, A DISTANCE OF 144.35 FEET; THENCE N89°32'20"W, A DISTANCE OF 15.00 FEET; THENCE N00°27'40"E, A DISTANCE OF 128.69 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 07°21'05", A CHORD BEARING OF N13°01'06"W AND A CHORD DISTANCE OF 138.47 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 138.57 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 920.00 FEET, A CENTRAL ANGLE OF 04°12'28", A CHORD BEARING OF N14°35'24"W AND A CHORD DISTANCE OF 67.55 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 67.57 FEET TO A POINT OF NON-TANGENCY; THENCE N05°13'39"W, A DISTANCE OF 61.24 FEET; THENCE S84°46'21"W, A DISTANCE OF 28.98 FEET; THENCE N05°13'39"W, A DISTANCE OF 115.00 FEET; THENCE N84°46'21"E, A DISTANCE OF 124.31 FEET; TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 205.00 FEET, A CENTRAL ANGLE OF 07°27'32", A CHORD BEARING OF N88°30'07"E AND A CHORD DISTANCE OF 26.67 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 26.69 FEET TO A POINT OF TANGENCY; THENCE S87°46'07"E, A DISTANCE OF 167.48 FEET; TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 02°42'07", A CHORD BEARING OF S89°07'10"E AND A CHORD DISTANCE OF 8.49 FEET; THENCE RUN EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 8.49 FEET TO THE END OF SAID CURVE; THENCE, ON A NON-RADIAL BEARING OF N06°28'36"W, A DISTANCE OF 58.10 FEET; THENCE N09°54'17"E, A DISTANCE OF 201.14 FEET; THENCE N54°12'34"E, A DISTANCE OF 174.58 FEET; THENCE N00°54'35"W, A DISTANCE OF 48.68 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1555.00 FEET, A CENTRAL ANGLE OF 11°08'47", A CHORD BEARING OF N85°20'11"W AND A CHORD DISTANCE OF 302.03 FEET; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 302.51 FEET TO THE END OF SAID CURVE; THENCE, ON A RADIAL BEARING OF N10°14'12"E, A DISTANCE OF 110.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1445.00 FEET, A CENTRAL ANGLE OF 01°00'42", A CHORD BEARING OF N79°15'27"W AND A CHORD DISTANCE OF 25.51 FEET; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 25.51 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 63°44'54", A CHORD BEARING OF N46°52'39"W AND A CHORD DISTANCE OF 63.37 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 66.76 FEET TO THE CUSP OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 17°23'30", A CHORD BEARING OF N00°17'15"E AND A CHORD DISTANCE OF 55.94 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 56.16 FEET TO THE END OF SAID CURVE;

THENCE DEPARTING SAID TRACT FD-1 WESTERLY LINE RUN S81°01'00"E, A DISTANCE OF 4.80 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 06°51'37", A CHORD BEARING OF N12°55'25"E AND A CHORD DISTANCE OF 21.54 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 21.55 FEET TO THE END OF SAID CURVE; THENCE N16°21'13"E, A DISTANCE OF 16.41 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 560.00 FEET, A CENTRAL ANGLE OF 14°10'20", A CHORD BEARING OF N09°16'03"E AND A CHORD DISTANCE OF 138.16 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 138.52 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 105.00 FEET, A CENTRAL ANGLE OF 27°54'35", A CHORD BEARING OF N11°46'24"W AND A CHORD DISTANCE OF 50.64 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 51.15 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 181.00 FEET, A CENTRAL ANGLE OF 24°48'06", A CHORD BEARING OF N13°19'38"W AND A CHORD DISTANCE OF 77.74 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 78.35 FEET TO THE END OF SAID CURVE; THENCE, ON A RADIAL BEARING OF S89°04'25"W, A DISTANCE OF 5.00 FEET; TO A POINT ON A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 186.00 FEET, A CENTRAL ANGLE OF 04°09'23", A CHORD BEARING OF N01°09'06"E AND A CHORD DISTANCE OF 13.49 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 13.49 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 13°07'26", A CHORD BEARING OF N09°47'30"E AND A CHORD DISTANCE OF 107.42 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 107.66 FEET TO THE END OF SAID CURVE; THENCE N16°21'13"E, A DISTANCE OF 4.22 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N61°21'13"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE, DEPARTING ON A RADIAL BEARING OF N16°21'13"E, A DISTANCE OF 52.00 FEET; THENCE N73°38'47"W, A DISTANCE OF 4.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N28°38'47"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY; THENCE N16°21'13"E, A DISTANCE OF 192.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N61°21'13"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE, ON A RADIAL BEARING OF N16°21'13"E, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N28°38'47"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY; THENCE N16°21'13"E, A DISTANCE OF 192.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N61°21'13"E AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO THE END OF SAID CURVE; THENCE, ON A RADIAL BEARING OF N16°21'13"E, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF N28°38'47"W AND A CHORD DISTANCE OF 35.36 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY; THENCE N16°21'13"E, A DISTANCE OF 16.00 FEET; THENCE N73°38'47"W, A DISTANCE OF 52.00 FEET; THENCE N16°21'13"E, A DISTANCE OF 124.52 FEET; THENCE N73°38'47"W, A DISTANCE OF 47.96 FEET; THENCE N00°04'08"W, A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 17; THENCE,

ALONG SAID LINE N89°38'45"W, A DISTANCE OF 40.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 17; THENCE, ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 17 N00°04'08"W, A DISTANCE OF 496.77 FEET TO A POINT ON THE NORTHERLY LINE OF SAID TRACT FD-1; THENCE RUN ALONG SAID NORTHERLY LINE THE FOLLOWING TWENTY-ONE (21) COURSES, N85°47'24"E, A DISTANCE OF 33.96 FEET; THENCE S66°30'52"E, A DISTANCE OF 53.70 FEET; THENCE S74°40'11"E, A DISTANCE OF 65.28 FEET; THENCE S78°52'14"E, A DISTANCE OF 176.71 FEET; THENCE S38°18'54"E, A DISTANCE OF 40.85 FEET; THENCE S86°21'47"E, A DISTANCE OF 87.85 FEET; THENCE S36°47'40"E, A DISTANCE OF 16.47 FEET; THENCE N74°48'37"E, A DISTANCE OF 22.15 FEET; THENCE S59°30'19"E, A DISTANCE OF 75.66 FEET; THENCE S73°47'32"E, A DISTANCE OF 57.09 FEET; THENCE N89°23'09"E, A DISTANCE OF 185.48 FEET; THENCE S78°39'53"E, A DISTANCE OF 217.12 FEET; THENCE S69°14'50"E, A DISTANCE OF 57.77 FEET; THENCE S75°43'06"E, A DISTANCE OF 133.21 FEET; THENCE N79°48'49"E, A DISTANCE OF 74.35 FEET; THENCE N79°34'06"E, A DISTANCE OF 28.06 FEET; THENCE N52°43'37"E, A DISTANCE OF 70.77 FEET; THENCE N54°39'11"E, A DISTANCE OF 33.88 FEET; THENCE N71°10'54"E, A DISTANCE OF 41.13 FEET; THENCE N77°05'50"E, A DISTANCE OF 84.53 FEET; THENCE N46°05'27"E, A DISTANCE OF 86.20 FEET TO A POINT ON THE EASTERLY LINE OF SAID TRACT FD-1; THENCE RUN ALONG SAID EASTERLY LINE THE FOLLOWING TWO (2) COURSES, S48°07'08"E, A DISTANCE OF 1574.44 FEET; THENCE S19°36'02"E, A DISTANCE OF 2144.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID TRACT FD-1; THENCE RUN ALONG SAID SOUTHERLY LINE THE FOLLOWING TWO (2) COURSES, N89°33'25"W, A DISTANCE OF 2100.00 FEET TO THE SOUTHEAST CORNER OF SECTION 17; THENCE N89°33'33"W, A DISTANCE OF 1517.72 FEET TO THE POINT OF BEGINNING.

CONTAINING 193.06 ACRES MORE OR LESS

SECTION VII

SECTION B

Sent Via Email: tadams@gmscfl.com

June 25th, 2025

Ms. Tricia Adams, District Manager
Live Oak Lake Community Development District
219 E. Livingston Street
Orlando, Florida 32801

**Subject: 2025 District Stormwater Report
Live Oak Lake Community Development District
Section 9.21 of the Master Trust Indenture**

Dear Ms. Adams:

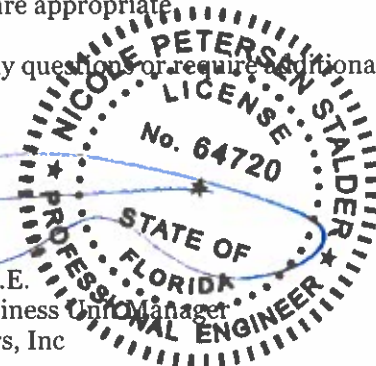

In accordance with Section 9.21 of the Master Trust Indenture for the Live Oak Lake Community Development District (CDD), we have completed our annual review of the portions of the project within this CDD as constructed to date. We find, based on said inspection and our knowledge of the community, that portions of the infrastructure are being maintained in reasonably good repair with the exception items noted in the following pages.

We have reviewed the Operation and Maintenance budget for the Fiscal Year 2025 and believe that it is sufficient to take care of the items of highest priority for the operation and maintenance of the Live Oak Lake Community Development District.

In addition, and in accordance with this Section 9.21 of the Master Trust Indenture, we have reviewed the current limits of insurance coverage. Although we do not see anything that would affect insurance coverage, we are not qualified to provide specific insurance recommendations. It is recommended that the insurance coverage amounts be reviewed by the District Manager and Insurance Provider every year to confirm that replacement costs are appropriate.

Should you have any questions or require additional information, please contact me at (321) 354-9707.

Sincerely,



Nicole P. Stalder, P.E.
Vice President, Business Unit Manager
Dewberry Engineers, Inc

NPS:ap

J:\Live Oak Lake CDD\Reports\Stormwater\Annual CDD StormWater Inspection 2025



MEMORANDUM

Date: June 18th, 2025
To: Nicole Stalder, District Engineer, Dewberry
From: Derek Staat, Graduate Engineer, Dewberry
Subject: Live Oak Lakes Community Development District (CDD)

Annual Inspection Results (May 2025); SFWMD Permit No.'s 49-02449-P, 49-02558-W, 49-103905-P, 49-103927-P, 49-105516-P, 49-104766-P, 49-106371-P, 49-103983-P.

Introduction

This report provides the findings of a stormwater inspection for proper operation and maintenance of the Live Oak Lakes CDD stormwater management system conducted on May 28th, 2025. The inspection and this report are specific to the system constructed in accordance with South Florida Water Management District (SFWMD) Permit No. 49-02449-P, 49-02558-W, 49-103905-P, 49-103927-P, 49-105516-P, 49-104766-P, 49-106371-P, 49-103983-P.

The following report summarizes the findings of the inspection and includes recommendations for action items. The report also contains a photo log (**Attachment 2**) depicting aspects of the stormwater management system that were inspected and require attention.

Report Recommendations

Live Oak Lakes: SFWMD Permit Numbers 49-02449-P, 49-02558-W, 49-103905-P, 49-103927-P, 49-105516-P, 49-104766-P, 49-106371-P, 49-103983-P.

General Comments are provided below regarding maintenance on site:

- Overgrowth appeared on nearly all outfall mitered end structures for the ponds. It is recommended that the overgrowth is removed on all of these structures and the surrounding area to allow for increased flow.

The recommended corrective measures are listed below and displayed on the attached **Stormwater Inspection Map (Attachment 1)**. These measures should be scheduled and performed as soon as possible to ensure the system is functioning as permitted:

Pond	Structure Name	Type	Condition	Solution
1	CS101	Control Structure MES	Overgrowth	- Remove overgrowth vegetation
2	CS201	Control Structure MES	Overgrowth	- Remove overgrowth vegetation
3	D69A	MES	Surrounding dirt missing	- Apply additional soil and hand compact around MES
3	D53A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron

MEMORANDUM

4	D50A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron
4	D65	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron
4	D125	MES	Crack on the top of the MES curtain	- CCTV the structure to see the severity of the crack - May need to draw down pond and install missing dirt and new MES
5	D68A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around MES
7	CS500	Control Structure	Type "D" Inlet Top fell	- Type "D" Inlet Top brought back up to the top of the structure and secured
13	N/A	N/A	Washout on Pond Bank	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again
14	N/A	N/A	Multiple points of washout of Pond	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again
15	N/A	N/A	Washout of pond grade due to construction on neighboring lot	- Remove dirt due to the washout from construction
17	Easement over D4-35 Pipe	Easement	Large Ponding in CDD owned Easement	- Apply additional soil in the area so that the area flows into the pond
17	D4-37	Outfall Structure	Overgrowth	- Remove overgrowth vegetation
20	N/A	N/A	Multiple points of washout around Pond bank	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again
24	N/A	N/A	Washout of Pond Side	- Apply additional soil and hand compact in washout area
24	D7-206	MES	Slight Vegetation and sedimentation	- Clear Vegetation and dirt from MES

Attachments
Attachment 1. Stormwater Inspection Map
Attachment 2. Live Oak Lakes CDD Photo Log
Attachment 3. Site Visit Notes



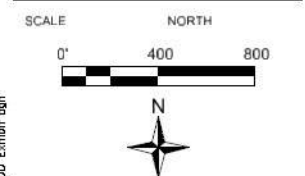
MEMORANDUM

Attachment 4. Live Oak Lake CDD FY Budget 2026

SEAL

6/18/2025

KEY PLAN



No.	DATE	BY	Description	

REVISIONS

DRAWN BY MDC

APPROVED BY NPS

CHECKED BY NPS

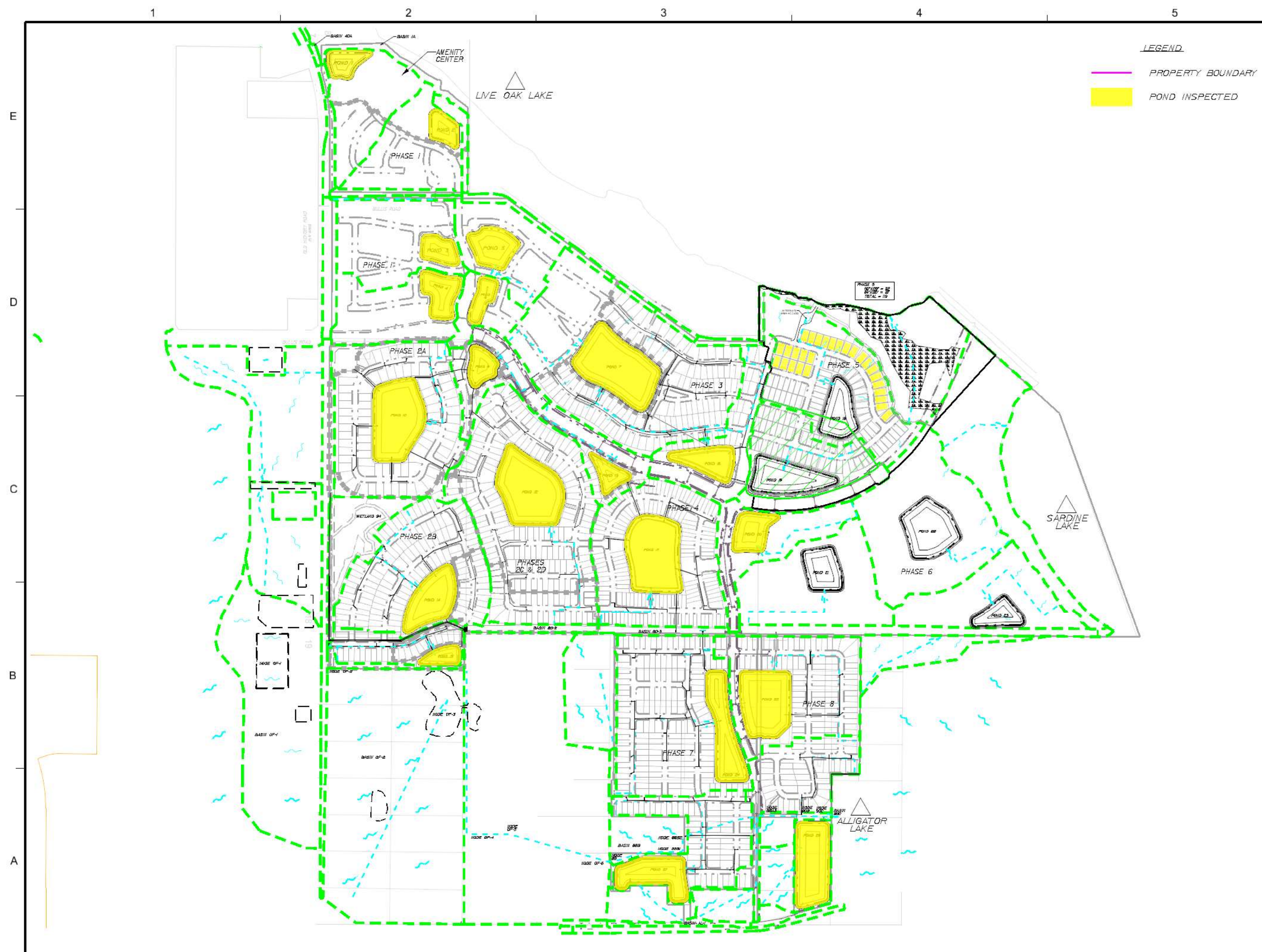
DATE DECEMBER 2020

TITLE





CDD Inspected
Ponds





PROJECT NO. 50075546 (BKNT-1)





SHEET NO.




Pond	Structure Name	Type	Condition	Solution	Photo	Severity
1	CS101	Control Structure MES	Overgrowth	- Remove overgrowth vegetation		Moderate
2	CS201	Control Structure MES	Overgrowth	- Remove overgrowth vegetation		Moderate
3	D69A	MES	Surrounding dirt missing	- Apply additional soil and hand compact around MES		Low
3	D53A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron		Moderate

Pond	Structure Name	Type	Condition	Solution	Photo	Severity
4	D50A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron		Moderate
4	D65	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around and behind MES apron		Moderate
4	D125	MES	Crack on the top of the MES curtain	- CCTV the structure to see the severity of the crack - May need to draw down pond and install missing dirt and new MES		Severe
5	D68A	MES	Surrounding and Supporting dirt missing	- Apply additional soil and hand compact around MES		Low

Pond	Structure Name	Type	Condition	Solution	Photo	Severity
7	CS500	Control Structure	Type "D" Inlet Top fell	- Type "D" Inlet Top brought back up to the top of the structure and secured	 South East Elevation 0 30°1'NW (T) 28°13'25"N, 81°14'5"W ±19ft ▲ 67ft	Severe
13	N/A	N/A	Washout on Pond Bank	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again		Low
14	N/A	N/A	Multiple points of washout of Pond	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again	 North West Elevation 0 15°SE (T) 28°13'5"N, 81°14'23"W ±9ft ▲ 78ft	Low
15	N/A	N/A	Washout of pond grade due to construction on neighboring lot	- Remove dirt due to the washout from construction		Low

Pond	Structure Name	Type	Condition	Solution	Photo	Severity
17	Easement over D4-35 Pipe	Easement	Large Ponding in CDD owned Easement	- Apply additional soil in the area so that the area flows into the pond		Moderate
17	D4-37	Outfall Structure	Overgrowth	- Remove overgrowth vegetation		Severe
20	N/A	N/A	Multiple points of washout around Pond bank	- Apply additional soil and hand compact in washout area - SOD area to reduce chances of this happening again		Low
24	N/A	N/A	Washout of Pond Side	- Apply additional soil and hand compact in washout area		Low

Pond	Structure Name	Type	Condition	Solution	Photo	Severity
24	D7-206	MES	Slight Vegetation and sedimentation	- Clear Vegetation and dirt from MES		Low

THIS APPROVAL IS SUBJECT TO
SPECIFIC COMPLIANCE TO THE
OSCEOLA COUNTY ZONING AND DEVELOPMENT
CODE AND ANY SPECIAL REQUIREMENTS OF THE COUNTY
COMMISSIONERS. IT SHALL BE THE
RESPONSIBILITY OF THE DEVELOPER TO
CORRECT ANY DEFICIENCIES IN THE PLANS
OR THE FACILITY AS CONSTRUCTED
WHICH RESULT IN A FAILURE TO MEET
APPLICABLE CODE REQUIREMENTS OR
DOES IT RELIEVE THE DEVELOPER OF
RESPONSIBILITY TO MEET THE
REQUIREMENTS AND INFORMATION OR
DETAILS THAT MAY BE INCLUDED WITHIN
THESE DRAWINGS THAT ARE
CONSIDERED UNDER THE PREVIEW AND
AUTHORITY OF JURISDICTIONS OTHER
THAN OSCEOLA COUNTY. IT IS FORWARDED
THIS APPROVAL FOR THE
APPROVAL IS VALID FOR THE
THREE YEARS FROM THE DATE
STAMPED

PREPARED FOR
**NARCOOSSEE LAND
ADVENTURES, LLC**
11 CORAL RIDGE DRIVE
CORAL SPRINGS, FLORIDA 33071

ENGINEER/ENVIRONMENTAL

DEWBERRY
520 SOUTH MAGNOLIA AVE.
ORLANDO, FLORIDA 32801
PHONE: (407) 843-5120
CONTACT: DANIELLE VAN DE LOO, P.E.

SURVEYOR-TOPOGRAPHIC

HANSON, WALTER & ASSOCIATES
400 EMMITT STREET
KISSIMEE, FLORIDA 34741
PHONE: (407) 847-9433
CONTACT: RANDY HANSON

SURVEYOR-BOUNDARY & TOPOGRAPHIC

DEWBERRY
520 SOUTH MAGNOLIA AVE.
ORLANDO, FLORIDA 32801
PHONE: (407) 843-5120
CONTACT: THOMAS CAMDEN

GEOTECHNICAL ENGINEER

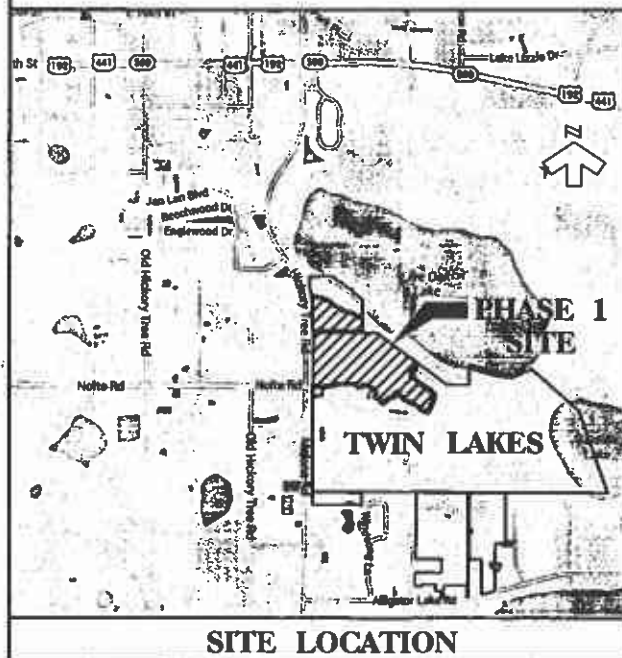
UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: GUY H. RABENS, M.S., P.E.

TRAFFIC ENGINEER

**LUKE TRANSPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.**

LANDSCAPE ARCHITECT

PARKER-YANNETTE DESIGN GROUP, INC.
825 SOUTH U.S. HWY. ONE
SUITE 330
JUPITER, FLORIDA 33477
PHONE: (561) 747-5069
CONTACT: CHUCK YANNETTE



CONSTRUCTION PLANS

OSCEOLA COUNTY, FLORIDA

TWIN LAKES

PHASE 1

PARCEL ID. NUMBERS:

**17-26-31-0000-0020-0000, 17-26-31-0000-0030-0000,
17-26-31-0000-0040-0000, 17-26-31-0000-0060-0000**

LEGAL DESCRIPTION

LEGAL DESCRIPTION: TWIN LAKES PHASE I

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TABLE OF CONTENTS

DESCRIPTION

1 COVER SHEET

2-4 GENERAL NOTES

5 EXISTING CONDITIONS PLAN

5A ENVIRONMENTAL IMPACTS PLAN

6,7 EROSION CONTROL PLANS

8 OVERALL SITE PLAN

8A,8B AUTOTURN SITE PLANS 3

9,9A SITE PLANS

9B PHASING SITE PLAN 13

9C BONDING PLAN

10,12A GEOMETRY PLANS

12B NOLTE ROAD ROUNDABOUT GEOMETRY PLAN 1

12C PAVERS PLAN 3

13 OVERALL GRADING PLAN KEY MAP

14-19 LOT & BLOCK GRADING PLANS

19A NOLTE ROAD ROUNDABOUT GRADING PLAN

19B EXISTING NOLTE ROAD IMPROVEMENTS 13

20 DETENTION PONDS 5 & 5

21 DETENTION PONDS 4 & 6

22 DETENTION POND 7 8

22A BYPASS SWALE PLAN

23-25 UTILITY PLANS

26,27 SAMPLE POINTS LOCATION PLANS

28 PLAN & PROFILE KEY MAP

29-47 PLAN & PROFILES

47A,47B SALES TRAILER 11

48,49 SIGNAGE & STRIPING PLANS

50,50A NOLTE ROAD ENTRANCE SIGNAGE & STRIPING PLAN

51 NOLTE ROAD ROUNDABOUT SIGNAGE & STRIPING PLAN

52 LIFT STATION 104 SITE PLAN

53-57 CITY OF ST.CLOUD LIFT STATION DETAILS

58-63 CITY OF ST.CLOUD DETAILS

64,65 PAVING & DRAINAGE DETAILS

66 TYPICAL SECTIONS

66A,66B OCA ELECTRICAL ROUTE NOLTE ROAD 13

67,68 MILLION TREE ROAD TRAFFIC SIGNAL PLANS 3

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.

SOP 15-0060 PS 5-00006 ZMA 13-0045

 Dewberry.

FLORIDA

TWIN LAKES
PHASE I

USCEOLA COUNTY

404-883-6670 • 02-8-06-209

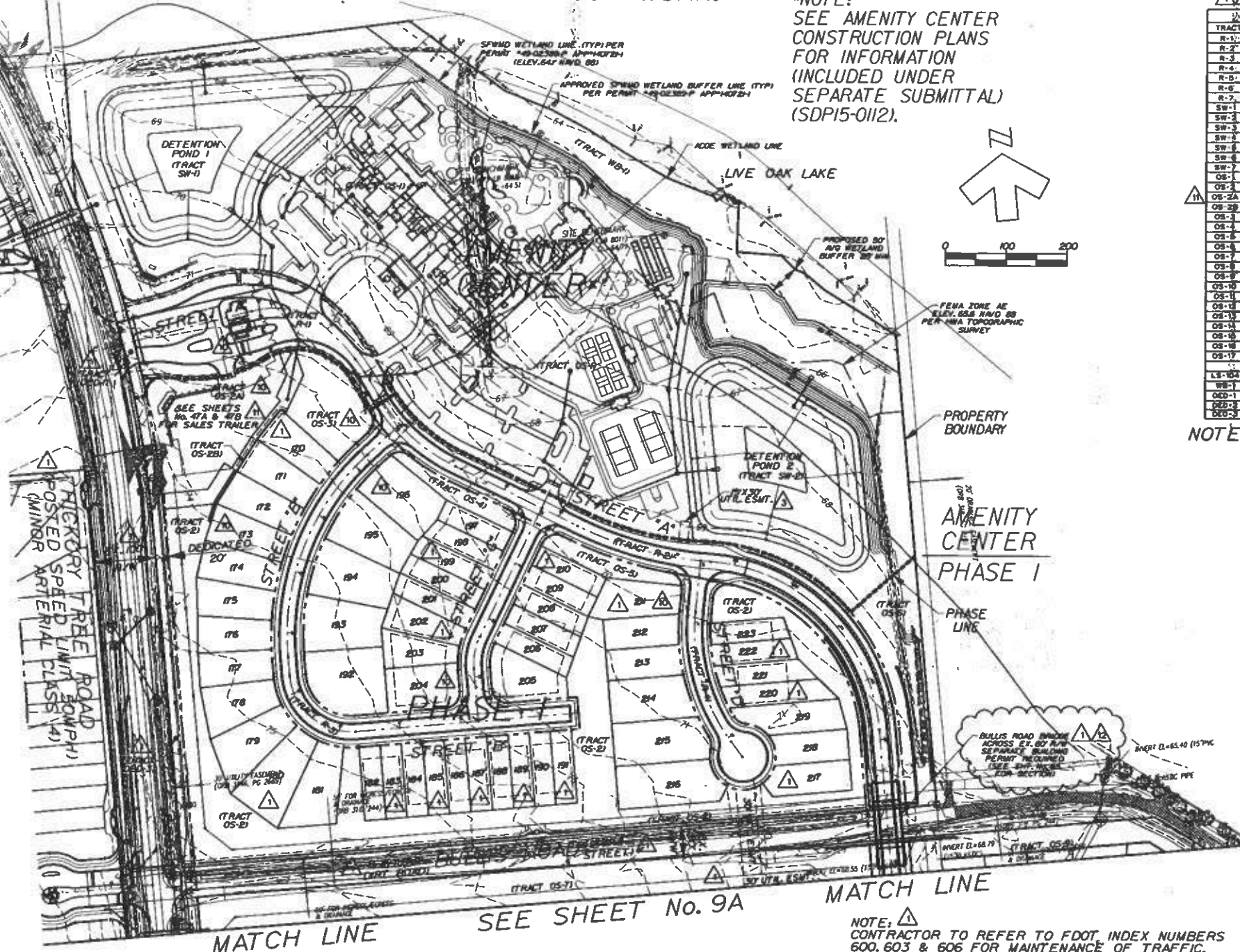
100

[illegible]

THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONFORMANCE OF THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF ZONING AND COMMISSIONERS. THIS SHALL NOT BE A GUARANTEE OF THE ACCURACY OF THE INFORMATION OR THE CORRECT ANY DEFECTS IN THE DRAWING OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A VIOLATION OF ANY APPLICABLE CODE REQUIREMENTS. WHO DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DESIGN SHALL BE THE SOLE RESPONSIBILITY OF THESE DRAWINGS THAT ARE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOTE: DATA ARE PRELIMINARY AND SUBJECT TO REVISION.

*NOTE:
SEE AMENITY CENTER
CONSTRUCTION PLANS
FOR INFORMATION
(INCLUDED UNDER
SEPARATE SUBMITTAL)
(SDP15-0112).



NOTE: 
CONTRACTOR TO REFER TO FDOT INDEX NUMBERS
600, 603 & 606 FOR MAINTENANCE OF TRAFFIC.
CONTRACTOR TO COMPLY WITH FDOT INDEX 301,
526 & 17346.

LOT MIX		Δ	Δ
NORTH - PHASE 1:			
DUPLEX LOTS	.	28	
50' WIDE LOTS	.	18	
70' WIDE LOTS	.	8	
TOTAL	.	54	
WEST - PHASE 1:			
50' WIDE LOTS	.	136	
70' WIDE LOTS	.	33	
TOTAL	.	169	
TOTAL LOTS	.	223	

NOTE:
ALL GEOTECHNICAL REPORTS ARE CONSIDERED TO BE PART OF THESE PLANS. THE CONTRACTOR SHALL OBTAIN ANY AND ALL GEOTECHNICAL REPORTS AND CONSTRUCT ACCORDING TO THE RECOMMENDATION AND REQUIREMENTS SET FORTH IN SAID REPORTS. ANY CONFLICTS BETWEEN THE GEOTECHNICAL REPORT AND THE ENGINEERING PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION ACTIVITIES.

TRACT		TRACT TABLE			
TRACT	AREA	DESIGNATION	USE	OWNERSHIP	MAINTENANCE
R-1-1	1.23	ROADWAY	ROADWAY	HQA	HQA
R-2-1	1.27	ROADWAY	ROADWAY	HQA	HQA
R-3	1.56	ROADWAY	ROADWAY	HQA	HQA
R-4	0.53	ROADWAY	ROADWAY	HQA	HQA
R-5	2.14	ROADWAY	ROADWAY	HQA	HQA
R-6	0.24	ROADWAY	ROADWAY	HQA	HQA
R-7	0.59	ROADWAY	ROADWAY	HQA	HQA
SW-1	3.26	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-2	3.43	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-3	2.46	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-4	3.60	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-5	3.86	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-6	2.12	DETENTION POND	POND/OPEN SPACE	HQA	HQA
SW-7	0.80	DETENTION POND	POND/OPEN SPACE	HQA	HQA
OS-1	7.58	OPEN SPACE/AMENITY/PARK	ACTIVE/RECREATION	HQA	HQA
OS-2	3.89	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-2A	0.72	SALES LOT	TEMP. SALES TRAILER	HQA	HQA
OS-2B	0.39	OPEN SPACE/BUFFER	OPEN SPACE/BUFFER	HQA	HQA
OS-3	0.39	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-4	0.13	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-5	0.15	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-6	0.57	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-7	0.62	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-8	0.67	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-9	1.74	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-10	0.29	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-11	1.02	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-12	0.07	OPEN SPACE	OPEN SPACE	HQA	HQA
OS-13	0.62	OPEN SPACE	LANDSCAPE MEDIUM	OSCEOLA COUNTY	OSCEOLA COUNTY
OS-14	0.00	OPEN SPACE	LANDSCAPE MEDIUM	OSCEOLA COUNTY	OSCEOLA COUNTY
OS-15	0.15	OPEN SPACE	LANDSCAPE MEDIUM	OSCEOLA COUNTY	OSCEOLA COUNTY
OS-16	0.03	OPEN SPACE	LANDSCAPE MEDIUM	OSCEOLA COUNTY	OSCEOLA COUNTY
OS-17	0.03	OPEN SPACE	LANDSCAPE MEDIUM	OSCEOLA COUNTY	OSCEOLA COUNTY
LS-104	0.27	LIFT STATION	LIFT STATION	CITY OF ST. CLOUD	CITY OF ST. CLOUD
WB-1	1.59	WETLAND BUFFER	WETLAND BUFFER	HQA	HQA
DED-1	0.17	ROADWAY DEDICATION	ROADWAY	OSCEOLA COUNTY	OSCEOLA COUNTY
DED-2	3.06	ROADWAY DEDICATION	ROADWAY	OSCEOLA COUNTY	OSCEOLA COUNTY
DED-3	0.31	ROADWAY DEDICATION	ROADWAY	OSCEOLA COUNTY	OSCEOLA COUNTY

NOTE: SEE SHEET No. 66 FOR TYPICAL SECTIONS.

SITE DATA **LF OF PUBLIC ROADWAY = 1319 LF**
OPEN SPACE CALCULATIONS **LF OF PRIVATE ROADWAY = 14,007 LF**

OPEN SPACE CALCULATIONS LF OF PRIVATE ROADWAY - 14,007 LF

REQUIRED (20% OF DEV. AREA):	14.53 Ac. (72.66 x 20%)
PROVIDED:	
OPEN SPACE (TRACTS 05-2 TO 05-17) 3	15.41 Ac.
OPEN SPACE (TRACT 05-11)	7.68 Ac.
SURPLUS RECREATION AREA CREDIT (1)	0.44 Ac.
TOTAL PROVIDED	31.53 Ac.
SURPLUS OPEN SPACE (2)	17.0 Ac.

<u>RECREATION CALCULATIONS</u>	
REQUIRED (MIN.0.50 ACRES.1 AC./50 LOTSX8)	4.46 Ac.(223/50)
PROVIDED:	
STORMWATER PONDS (25% MAX)	1.00 Ac.
ACTIVE / TRAILS PARKS (TRACT OS-1)	7.68 Ac.
RECREATION FACILITIES CREDIT (3)	15.94 Ac.
TOTAL PROVIDED	24.62 Ac.
SURPLUS RECREATION (2)	20.16 Ac.

STREETS TO BE PRIVATE
MINIMUM DETACHED BUILDING SETBACKS
 FRONT (TO BLDGS. UNDER A/C) 10 FT.
 FRONT (TO FRONT GARAGE) 20 FT.
 REAR 15 FT.
 SIDE (STREET) 10 FT.
 SIDE 5 FT.
POOL/ACCESSORY STRUCTURE 5 FT.
 MAXIMUM BUILDING HEIGHT 3 STORIES
 MINIMUM LOT WIDTH 40 FT.
 MINIMUM LOT AREA 4,000 SQ. FT.

<u>MINIMUM ATTACHED BUILDING SETBACKS</u> <u>3</u>	
FRONT	10 FT.
FRONT (TO FRONT GARAGE)	20 FT.
REAR	15 FT.
SIDE (STREET/CORNER)	10 FT.
SIDE	0 FT.
SIDE (BUILDING TO BUILDING)	10 FT.
POOL/ACCESSORY STRUCTURE	5 FT.
MAXIMUM BUILDING HEIGHT	3 STORIES
TOTAL AREA	114.69 AC.
TOTAL DEVELOPABLE AREA	72.66 AC.

△ DENSITY: 223 UNITS/7266

EXISTING ZONING LDR (LOW DENSITY RESIDENTIAL)
EXISTING LAND USE VACANT

LAND USE AREAS	
RESIDENTIAL (LOTS):	39.75 AC.
PRIVATE STREETS	18.46 AC.
LIFT STATION TRACT: (TRACT LS-1)	0.07 AC.
OPEN SPACE: (TRACTS OS-2 TO OS-12)	14.38 AC.
TOTAL (DEVELOPABLE AREA)	72.66 AC.

<u>REQUIRED TREES</u>	
TWO (2) TREES PER LOT (DETACHED PRODUCT)	390 (195 X 2)
ONE (1) TREE PER FOURTY (40) LF OF ROAD	383 (15326/40)
TOTAL TREES REQUIRED	773

<u>POND AREA</u>	
REQUIRED (15% DEVELOPABLE AREA):	10.90 Ac. (72.66 X 15%)
PROVIDED:	28.53 Ac.

(1) SURPLUS RECREATION AREA OF 422 ACRES CREDITED AT A RATIO OF 24 TOWARDS OPEN SPACE. THIS DOES NOT INCLUDE THE RECREATION FACILITY CREDIT.

(2) SURPLUS OPEN SPACE AND ACTIVE RECREATION NOT UTILIZED IN THIS PHASE MAY BE UTILIZED IN FUTURE PHASES TOWARDS FULFILLING THESE REQUIREMENTS.

(3) THIS INCLUDES 42745 SQ.FT. OF RECREATIONAL BUILDING STRUCTURES FROM PHASE 1 CREDITED AT A RATIO OF 10 ACRE PER 5000 SQ.FT. THIS ALSO INCLUDES 184690 SQ.FT. OF RECREATIONAL NON-BUILDING STRUCTURES FROM PHASE 1 CREDITED AT A RATIO OF 10 ACRE PER 25000 SQ.FT.

SDP 13-0060 PS 13-00006 ZNA 13-0045

 Dewberry.

FLORIDA

SITE PLAN

OSCEOLA COUNTY

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— 28 —

1995

1

81

DATE

Abstract

—

5-BUL'S

FACTOR AS

748

STP
PL

2000

FILE

60 PS

SDP15-0060 - 04/20/16

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DETAILS IN A PLAN MAY BE INCORPORATED INTO THESE DRAWINGS. THAT ARE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS. THESE DRAWINGS ARE NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOTE: SEE SHEET No. 66 FOR TYPICAL SECTIONS.

SEE SHEET No. 9

MATCH LINE

MATCH LINE



NOTE: CONTRACTOR TO REFER TO FOOT INDEX NUMBERS 600, 603 & 606 FOR MAINTENANCE OF TRAFFIC. CONTRACTOR TO COMPLY WITH FOOT INDEX 301, 526 & 17346.

FLORIDA
OSCEOLA COUNTY
SITE PLAN
TWIN LAKES PHASE I

CORPORATE OFFICE - 650 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
407-668-6130 - ENGINEERING BUSINESS - 8794

2/15/2016

REVISIONS

DATE	BY	DESCRIPTION
1-29-16	K.K.	REV NOLTE ROAD INTERSECTION & COMMENTS
8-23-15	K.K.	REV ROUNDABOUT COMMENTS & COORDINATION
8-23-15	K.K.	ADDED BYPASS SWALE
8-18-15	K.K.	REV PER OFFICE OA
8-18-15	K.K.	REV PER COUNTY & CITY COMMENTS/OFFICE OA
8-18-15	K.K.	REV PER CITY UTILITIES COMMENTS
8-18-15	K.K.	REV PER COUNTY & OFFICE REVIEW

CONTRACTOR: AS-BUILT
I, the undersigned, being duly sworn, depose and say that these "As-Built" were furnished to me by the contractor and that I believe them to be a true and correct copy of the original as-built drawings. This statement is based upon the information furnished to me by the contractor and the original drawings of a Florida Registered Engineer.
Contractor's Name: _____
Engineer: _____
Not valid without the signature and the original seal of a Florida Registered Engineer.

74878
Osceola County, Florida
Professional Seal
JANUARY 2014
K.K.
HKS
P - 120
NAD 83
SHEET 64 OF 64
PROJECT NO. SDP15-0060/PHASE I
FILE NAME SDP15-0060-02.dwg

NOTE:
ALL GEOTECHNICAL REPORTS ARE CONSIDERED TO BE PART OF THESE PLANS. THE CONTRACTOR SHALL OBTAIN ANY AND ALL GEOTECHNICAL REPORTS AND CONSTRUCT ACCORDING TO THE RECOMMENDATION AND REQUIREMENTS SET FORTH IN SAID REPORTS. ANY CONFLICTS BETWEEN THE GEOTECHNICAL REPORT AND THE ENGINEERING PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION ACTIVITIES.

NOTE: DETENTION PONDS TO BE CONSTRUCTED W/MASS GRADING.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

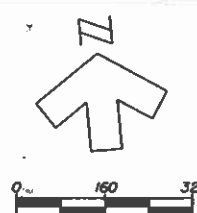
- NOTES:
1. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 2. ALL INTERNAL ROADS WILL BE PRIVATE OWNED & MAINTAINED BY HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 3. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 4. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 5. REFER TO SHEET 65 FOR TYPICAL LOT LAYOUTS & SETBACKS.
 6. CONTRACTOR TO INCLUDE THE STAMPED APPROVED STREET NAME DESIGNATION WITH ALL STATION AND OFFSET INFORMATION (INCLUDING AS-BUILTS) BEING PROVIDED TO THE EOR, CITY, OR COUNTY.

SDP15-0060 - 04/20/16

Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO THE SPECIFIC COMPLETION OF THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CORRECT ANY DEFECTS IN THE PLAN OR THE FACILITY IS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED WITHIN THESE DRAWINGS SHALL BE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT VALID WITHOUT AN ACTIVE CONSTRUCTION PERMIT



- NOTES:
1. CONSERVATION AREA SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS. SEE AMENITY CENTER CONSTRUCTION PLANS.
 2. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

NOTE: SEE SHEETS No. 14-19 FOR LOT & BLOCK GRADING.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
STORM SEWER SYSTEM		
CONTOUR		
DRAINAGE STRUCTURE		D3
SPOT ELEVATION	87.12	87.12
LOT GRADING	TST	PROP
DIRECTION OF SURFACE FLOW		
PROPOSED SHWT CONTOURS		74

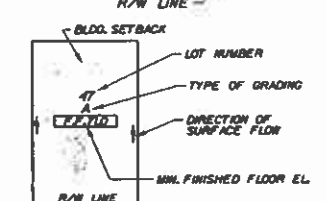
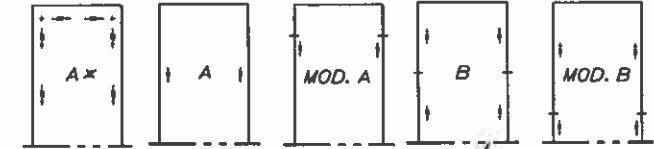


TYPICAL SECTION @ LOT LINE

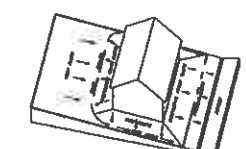
NOTE

SITE GRADE CONTRACTOR TO GRADE BLDG. PAD AREA WITHIN SETBACK TO 0.7' BELOW FINISHED FLOOR ELEV.

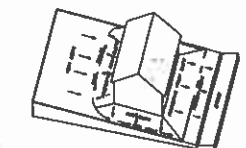
- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. 9 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. 66.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. 20-22 & 29-47.
 10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 13. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. 6.
 14. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.



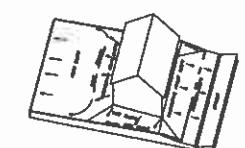
TYPICAL LOT LAYOUT



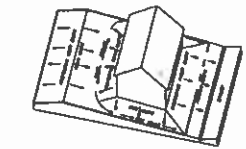
LOT GRADING TYPE A



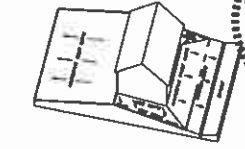
LOT GRADING TYPE MOD. A



LOT GRADING TYPE MOD. B



LOT GRADING TYPE B



LOT GRADING TYPE MOD. A

TYPICAL FHA GRADING

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

PROPOSED SHWT CONTOURS
CREATED BY UNIVERSAL
ENGINEERING, (TYP.)

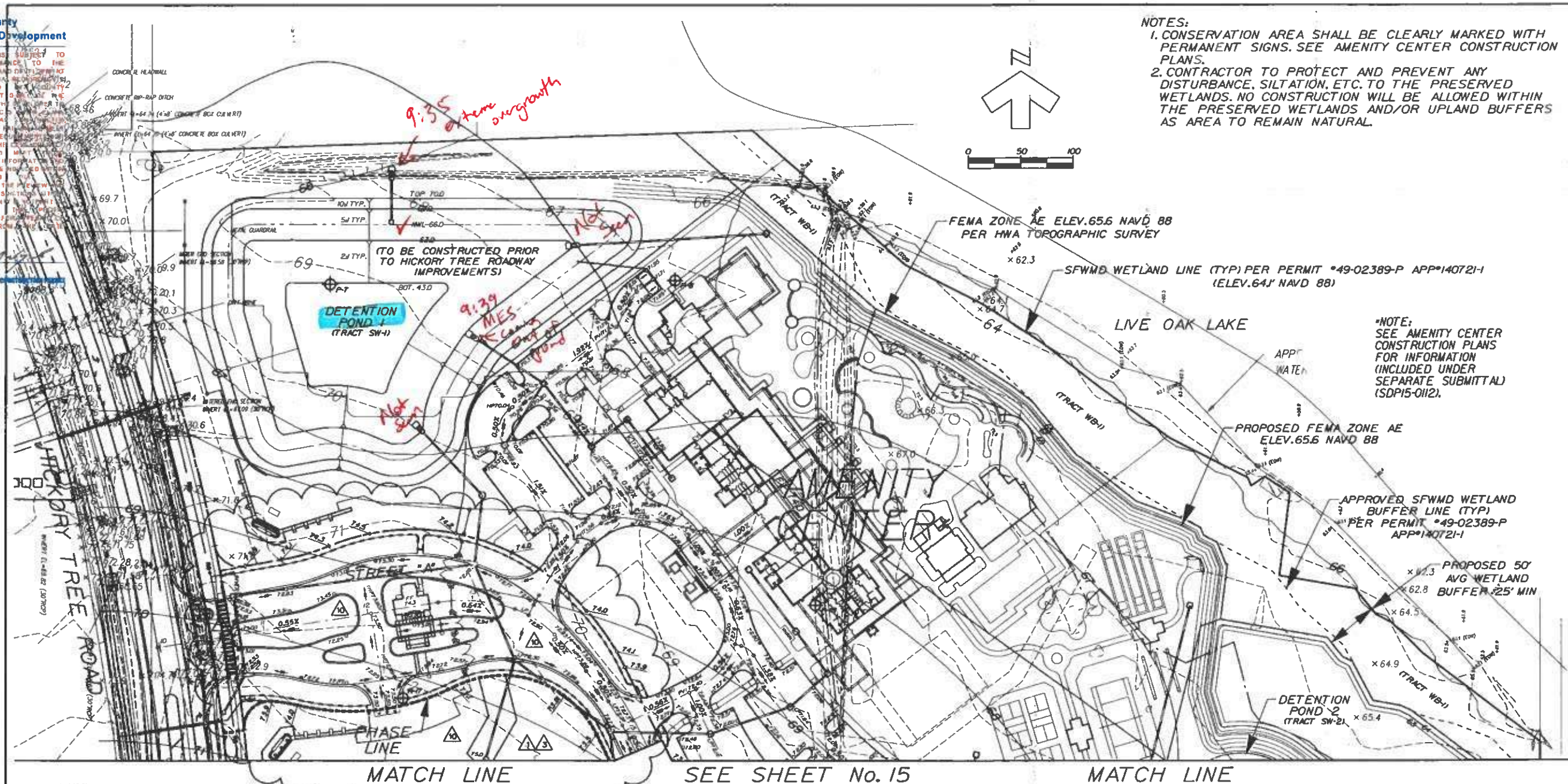
Dewberry

FLORIDA
OSCEOLA COUNTY
OVERALL GRADING PLAN KEY MAP
TWIN LAKES PHASE I

REVISIONS	DATE	BY	DESCRIPTION
1	9-18-15	KJK	REV PER OWNER
2	8-15-15	KJK	REV PER COUNTY & CITY COMMENTS
3	6-23-15	KJK	REV PER CITY UTILITIES COMMENTS
4	6-15-15	KJK	REV PER COUNTY & OFFICE REVIEW

FOR "AS BUILT"	State that these "As-Built" were furnished by the contractor and are not to be used for any other purpose without the written consent of the engineer.
74578	Doris Van De Loo
FLORIDA	Professional Engineer
2016	January 2016
CHECKED	MS
SCALE	1" = 100'
DATUM	NAVD 83
PROJECT NO.	SDP15-0060/PHASE 1
FILE NAME	SDP15-0060
SHEET	13 OF 54

NOT VALID WITHOUT AN ACTIVE Continuing Education Program



NOTE:
REFER TO CONSTRUCTION REVISION FOR
NORTHWEST GROVES FOR HICKORY TREE
ROADWAY IMPROVEMENTS.

LEGEND

<u>DESCRIPTION</u>	<u>EXISTING</u>	<u>PROPOSED</u>
STORM SEWER SYSTEM		
CONTOUR		D3
DRAINAGE STRUCTURE		D3
SPOT ELEVATION	• 67.42	• 67.42
LOT GRADING	EXIST.	
DIRECTION OF SURFACE FLOW		
PROPOSED SHWT CONTOURS		-74
SOILS BORING		

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

- NOTES:
1. CONSERVATION AREA SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS. SEE AMENITY CENTER CONSTRUCTION PLANS.
 2. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

*NOTE:
SEE AMENITY CENTER
CONSTRUCTION PLANS
FOR INFORMATION
(INCLUDED UNDER
SEPARATE SUBMITTAL)
(SDP15-0112).

PROPOSED FEMA ZONE AE
ELEV.65.6 NAVD 88

APPROVED SFWMD WETLAND
BUFFER LINE (TYP)
PER PERMIT #49-02389-P
APP#140721-1

2.3 PROPOSED 50'
AVG WETLAND
2.8 BUFFER 25' MIN

DETEN
POND

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. 9 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. 66.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.

B. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.

9. FOR LOCATION INFORMATION FOR ALL STORM PIPES
& STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET
Nos. 20-22 & 29-47.

10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.

11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.

13. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. 6.

14. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

 Dewberry.

FLORIDA

OSCEOLA COUNTY

LOT & BLOCK GRADING PLAN

TWIN LAKES PHASE I

CORPORATE OFFICE • 320 SOUTH MAGNOLIA AVENUE • ORLANDO, FLORIDA 32801
407-843-6120 • ENGINEERING BUSINESS • 5794

1945 0215, 1104

REVISION	DESCRIPTION	DATE	BY	REV	PER	OWNER
		12-11-15	K.K.	1	REV	PER OWNER
		9-16-15	K.K.	2	REV	PER COUNTY
		8-6-15	K.K.	3	REV	PER COUNTY & CITY COMMENTS/OFFICE QA
		6-25-15	K.K.	2	REV	PER CITY UTILITIES COMMENTS
		6-15-15	K.K.	1	REV	PER COUNTY & OFFICE REVIEW

12/16/2015





contractor "AS-BUILT" _____
 I hereby state that these "As-Built" were furnished _____
 by the contractor listed below. I or an _____
 authorized representative of the contractor was under my direct supervision when released _____
 from the project and believe them to be an _____
 accurate representation of the work actually _____
 completed. This statement is posted right site _____
 on the _____ of the construction. _____
 Signature of _____ Name _____
 Title _____
 I will not add without the signature and the original seal _____
 of a Florida Registered Engineer. _____
 I hereby Granting Design _____

DATE	7/14/78
DESIGNED	BY: [illegible]
CHECKED	BY: [illegible]
SCALE	STATE OF
DATUM	DRY
PROJECT NO.	SHORT [illegible]
FILE NAME	SHORT [illegible]
SHEET	14 OF 26

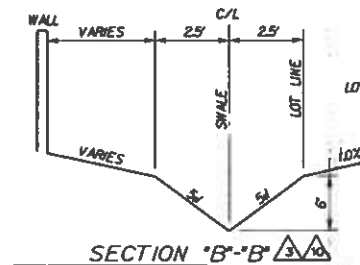
SDP 15-0060 PS 15-00006 ZMA 13-0043

NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM
OF 15" ABOVE THE ADJACENT ROAD CROWN FOR
CONFORMANCE WITH THIS SDP IS BEING
REVIEWED FOR CONFORMANCE WITH THE
THIS APPROVAL IS FOR THE INTENTION/DETENTION BASIN SHALL BE
SPECIFIC CONFORMANCE WITH THE SDC IN ACCORDANCE WITH OSCEOLA COUNTY
OSCEOLA COUNTY LAND DEPT. SHALL BE CONSTRUCTED TO BE CONSTRUCTED IN
CODE AND ANY SPECIAL REQUIREMENTS OF THE ROAD WITH FOOT STANDARD INDEX: 200.
OF THE ROAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH 232.
COMMISSIONERS. IT SHALL BE ADEQUATE FOR GROUNDWATER CONTOURS
RESPONSIBILITY OF THE DEVELOPER PER UNDERGROUND ENGINEERING
CORRECT ANY OBJECTS IN THE EGRESS, INC. SEE SHEET NO. 9 FOR LIST OF
OR THE FACILITY AS DEVELOPED FOR THE POST DEVELOPED CONDITION.
FINCH RICH ROAD. IT FAILURES TO TYPICAL ROADWAY SECTIONS SEE SHEET NO.
APPLICABLE CODE REQUIREMENTS IS NOT
DOES IT REVEAL THE DEVELOPER'S DRAINAGE, ACCESS & SIDEWALK ESM.
RESPONSIBILITY TO MEET THE REQUIREMENTS OF THE EASEMENTS WILL BE OWNED &
PROVIDED BY THE HOA. THE HOA SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
CE. AS PART OF THE PROJECT. THE PROJECT SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
THESE DRAWINGS SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
CONSIDERED IN THE PREVIEW AND
AUTHORITY OF EMBODIMENT OTHER
THAN OSCEOLA COUNTY IS NOT PART OF
THIS APPROVAL. THE PROJECT SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
APPROVAL IS FOR A PERMANENT EASEMENT. THE PROJECT SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
THREE YEARS FROM THE DATE OF THE PROJECT. THE PROJECT SHALL BE INCLUDED IN THE HOA WITH ACCESS RIGHTS TO
STAMP

6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES
 8. STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET
 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834

169-15' RCP @ 0.32% 
 D201 
 (N416228.02.E57785472)
 TYPE "C" INLET
 TOP 73.50
 INV. 66.70
 48-15' RCP @ 0.32% 
 D200 
 (N416199.95.E57789136)
 TYPE "C" INLET
 TOP 74.15
 INV. 66.85

LOTS 170-173 ARE
BETWEEN 18' & 24'
ABOVE THE CROWN
OF THE ROADWAY.



LEGEND

DESCRIPTION

STORM SEWER SYSTEM

CONTOUR

DRAINAGE STRUCTURE

SPOT ELEVATION

LOT GRADING

DIRECTION OF SURFACE FLOW

PROPOSED SHMT CONTOURS

SOILS BORING

EXISTING

PROPOSED

D3

0.01

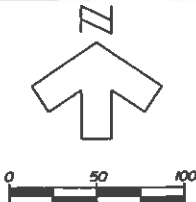
0.02

7.4

9.49

NE

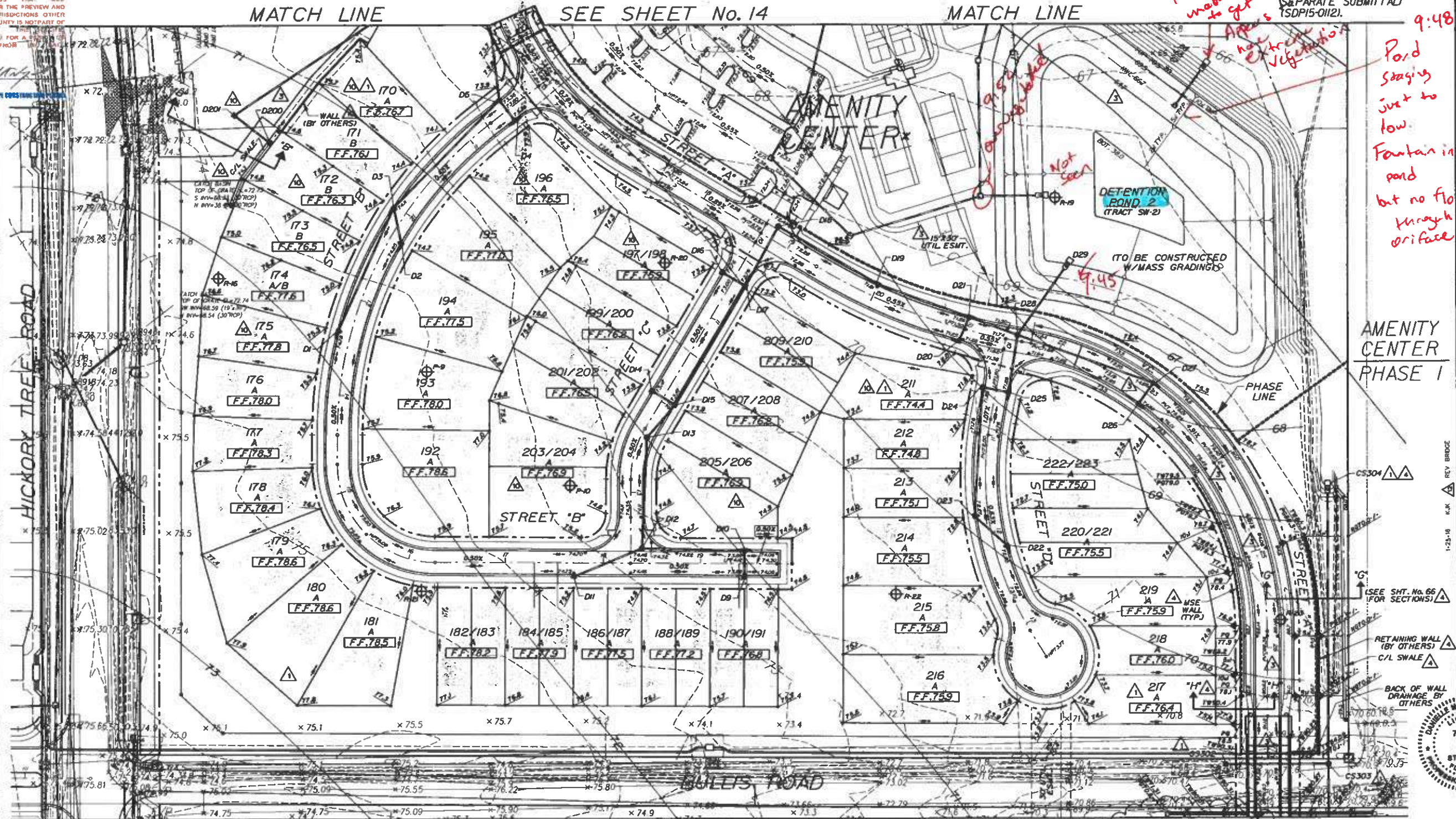
*NOTE:
SEE AMENITY CENTER
CONSTRUCTION PLANS FOR
INFORMATION (INCLUDED UNDER
SEPARATE SUBMITTAL)
(SDP15-0112).



MATCH LINE

SEE SHEET No. 14

MATCH LINE



MATCH LINE

SEE SHEET No. 16

MATCH LINE

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOTE: SEE SHEET No. 13 FOR TYPICAL LOT & BLOCK GRADING DETAILS.

Dewberry.

OSCEOLA COUNTY FLORIDA

LOT & BLOCK GRADING PLAN

TWIN LAKES PHASE I

3/26/2016

| REVISIONS | | | DESCRIPTION |
|-----------|-----|---|--|
| DATE | BY | | |
| 12-1-13 | KJK | 1 | REV PER OWNER |
| 9-18-13 | KJK | 2 | REV PER OWNER |
| 8-11-13 | KJK | 3 | BRIDGE REVISIONS |
| 8-6-13 | KJK | 4 | REV PER COUNTY & CITY COMMENTS/OFFICE QA |
| 6-23-13 | KJK | 5 | REV PER CITY UTILITIES COMMENTS |
| 6-15-13 | KJK | 6 | REV PER COUNTY & OFFICE REVIEW |

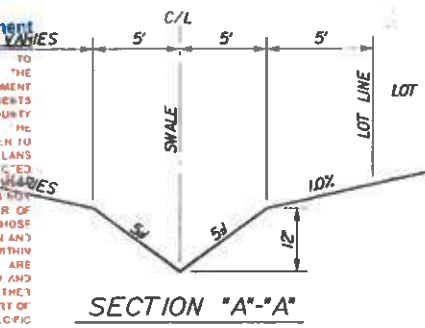
[illegible]

| | |
|------------|---------------------|
| DESIGNED | KUN |
| CHECKED | MSS |
| SCALE | 1" = 10' |
| DRAWN | MAVD 05 |
| PROJECT NO | 80471734L/PHASE 1 |
| FILE NAME | 80471734L-05-02.dwg |
| SHEET | 15 OF 05 |

SDP15-0060 - 04/20/16

Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY ZONING AND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. I SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS AND INFORMATION AND DETAILS THAT MAY BE INCLUDED WITHIN THESE DRAWINGS THAT ARE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY'S NOTWITHSTANDING THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.



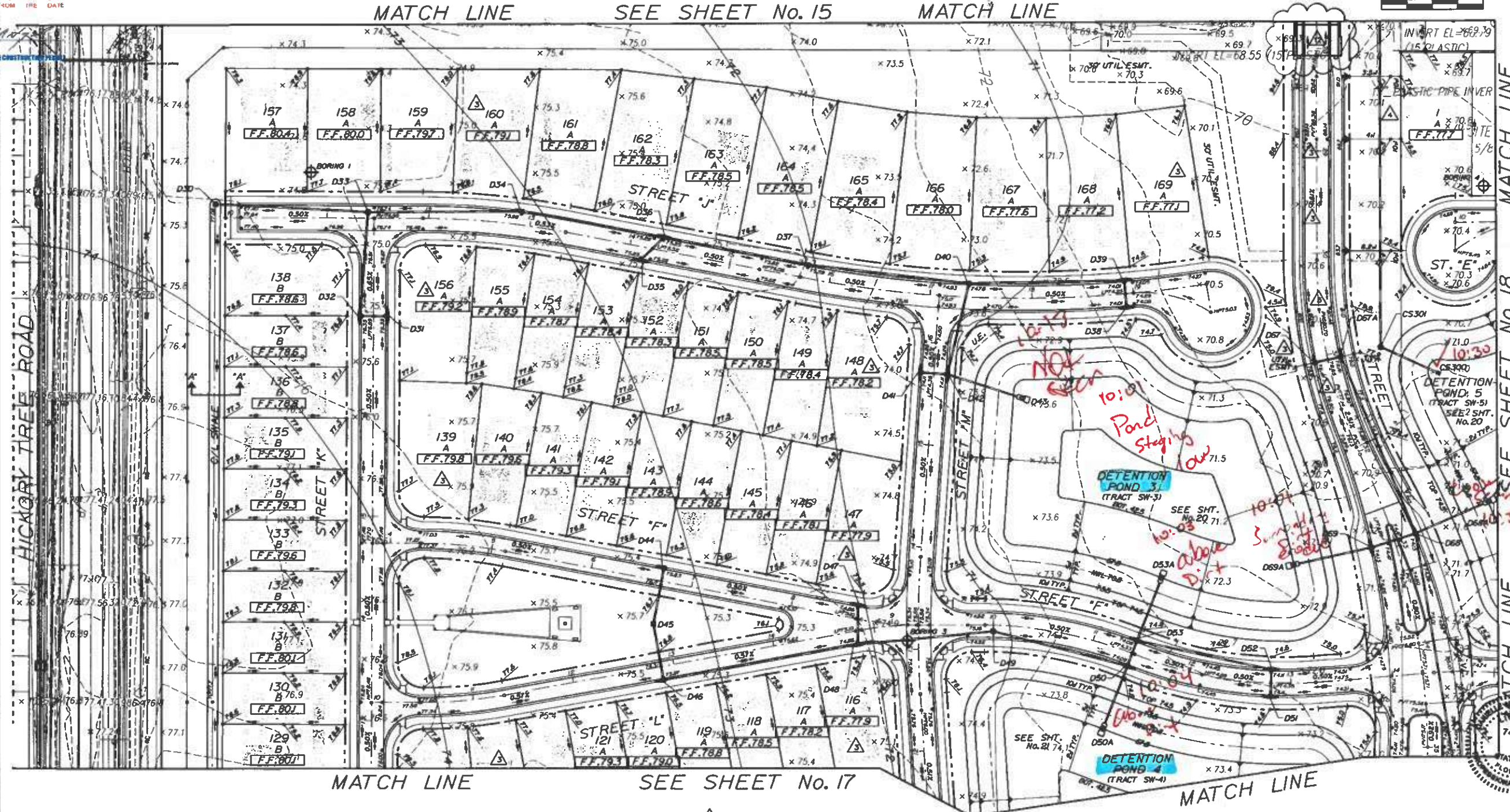
- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX 200, 201, 210, 211 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. 9 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. 66.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. 20-22 & 29-47.
 10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 13. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. 6.
 14. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS | | |
| SOILS BORING | | |

LOTS 129-138 ARE BETWEEN 18" & 24" ABOVE THE CROWN OF THE ROADWAY.

0 50 100



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOTE: DETENTION PONDS TO BE CONSTRUCTED W/MASS GRADING.

NOTE: SEE SHEET No. 13 FOR TYPICAL LOT & BLOCK GRADING DETAILS.

FLORIDA
OSCEOLA COUNTY

Dewberry

LOT & BLOCK GRADING PLAN
TWIN LAKES PHASE I

DATE: 04/20/16
BY: KUR
CHECKED: KUR
SCALE: 1" = 50'
DATUM: NAVD 83
PROJECT NO.: SDP15-0060/PHASE I
FILE NAME: SDP15-0060.dwg
SHEET: 15 OF 66

REVISIONS

| DATE | BY | DESCRIPTION |
|----------|-----|--|
| 04-20-16 | KUR | REV BRIDGE |
| 04-20-16 | KUR | REV PER OWNER |
| 04-20-16 | KUR | BRIDGE REVISIONS |
| 04-20-16 | KUR | REV PER COUNTY & CITY COMMENTS/OFFICE CA |
| 04-20-16 | KUR | REV PER CITY UTILITIES COMMENTS |
| 04-20-16 | KUR | REV PER COUNTY & OFFICE REVIEW |

74879
STATE OF FLORIDA
Professional Engineer
Donna Marie Van De Loo
P.E. No. 74879
FEB 29 2016

15 OF 66

THIS APPROVAL IS SUBJECT TO THE DEVELOPER'S SPECIFIC CONFORMANCE TO THE GEORGIA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS OR VIOLATIONS ON THE FACILITY AS CONSTRUCTION WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. THIS DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THE REQUIREMENTS SET FORTH IN THE PERMITS THAT MAY BE INCLUDED WITH THESE DRAWINGS THAT ARE CONSIDERED UNDER THE PREVIOUS AUTHORITY OF JURISDICTION OF THE GEORGIA COUNTY COMMISSIONERS. THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT YOUR ORDINARY AN ACTIVE



NOTES:

1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. 9 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. 66.
6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.

8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.

9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. 20-22 & 29-47.

10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.

11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.

13. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. 6.

14. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | 87.42 | 87.42 |
| LOT GRADING | EXIST | PROP |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS | | -74 |
| SOILS BORING | | |

△
LOTS 37, 38 & 66 ARE
BETWEEN 18" & 24"
ABOVE THE CROWN
OF THE ROADWAY.

| DATE | | REV | DESCRIPTION |
|---------|---|---|-------------|
| 9-28-15 | 1 | REV PER CHANGE | |
| 8-16-15 | 2 | REV PER COUNTY & CITY COMMENTS/SURFACE DATA | |
| 8-23-15 | 3 | REV PER CITY UTILITIES COMMENTS | |
| 8-15-15 | 4 | REV PER COUNTY & OFFICE REVIEW | |

CONTRACT NO. "AS-BUILT"

THEY HAVE BEEN ISSUED "AS-BUILT" WERE FURNISHED TO THE CITY OF MIAMI BEACH FOR THE CITY ENGINEER'S REVIEW AND APPROVAL UNDER MY DIRECT SUPERVISION HAVE REVIEWED AND APPROVED THE "AS-BUILT" AND THEREFORE I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE "AS-BUILT" AND I AM NOT RESPONSIBLE FOR ANY CONSTRUCTION COSTS OR DELAYS INCURRED BY THE CITY OF MIAMI BEACH.

CONTRACTOR'S NAME _____

ENGINEER _____

NOTED: additional fee, proposed and the importance of a 132000 Residential Trimmer.

DATE: 9/28/2015

TIME: 10:00 AM

BY: [Signature]

FOR: [Signature]

SCALE: 1" = 10'

PROJECT NO: 132000

FILE NAME: 132000-AS-BUILT-15

SHEET: 15 OF 44

OSCEOLA COUNTY

FLORIDA

LOT & BLOCK GRADING PLAN

TWIN LAKES PHASE I

CORPORATE OFFICE: 132000 MIAMI BEACH, FLORIDA 33136

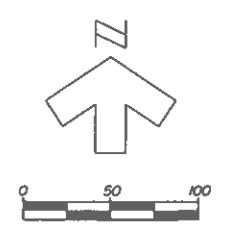
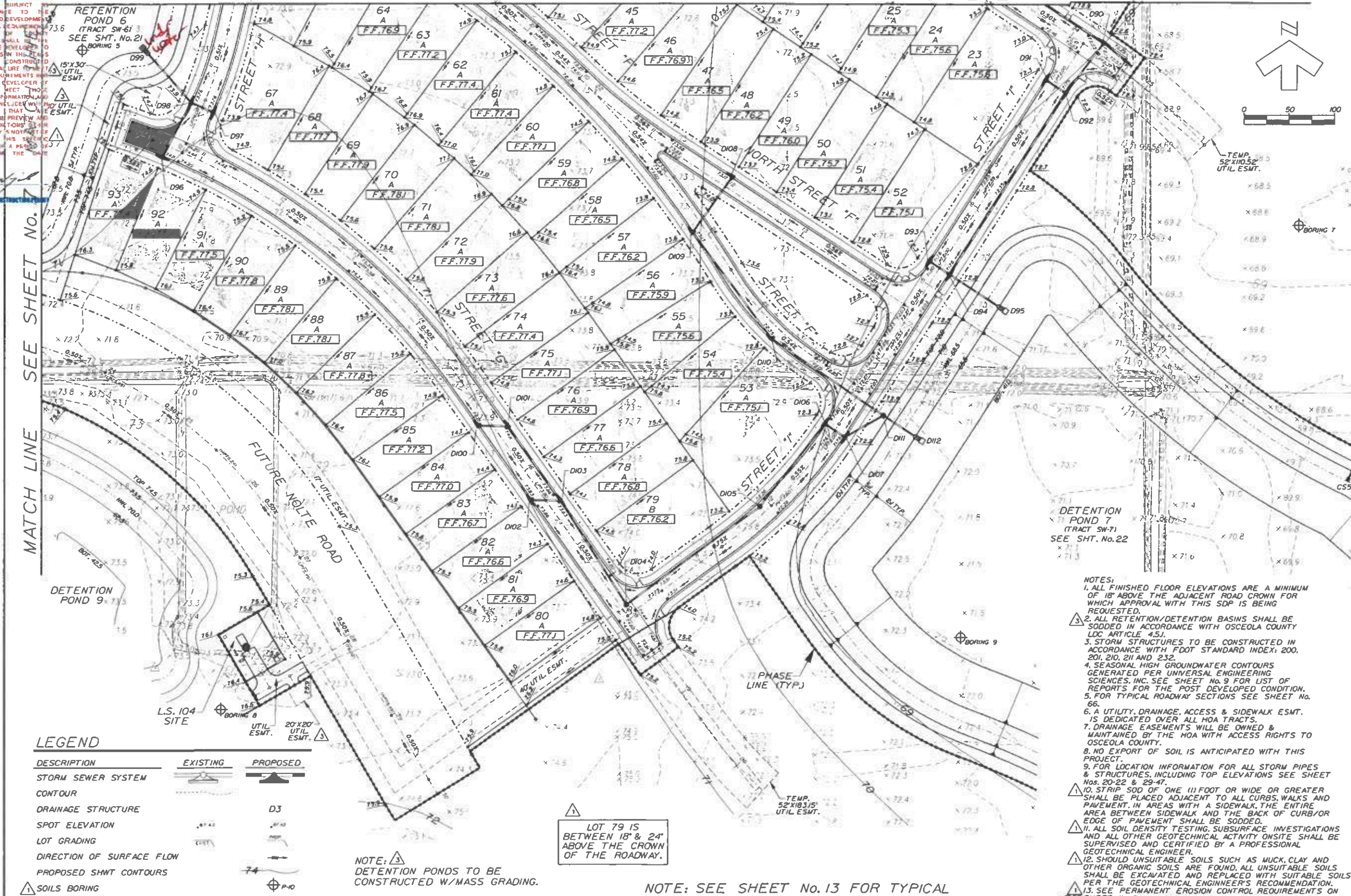
132000 MIAMI BEACH, FLORIDA 33136

SDP15-0060 - 10/22/15

THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COMMUNITY DEVELOPMENT. THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCY IN THIS PLAN OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS, WHICHEVER IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DATA THAT MAY BE INCORPORATED INTO THESE DRAWINGS THAT ARE NOT CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTION OF THIS APPROVAL. THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT VALID WITHOUT AN ACTIVE CONSTRUCTION PERMIT

MATCH LINE SEE SHEET No. 18 MATCH LINE



LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS | | |
| SOILS BORING | | |

NOTE: 3 DETENTION PONDS TO BE CONSTRUCTED W/MASS GRADING.

LOT 79 IS BETWEEN 18' & 24' ABOVE THE CROWN OF THE ROADWAY.

NOTE: SEE SHEET No. 13 FOR TYPICAL LOT & BLOCK GRADING DETAILS.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

- NOTES:**
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.51.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. 9 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. 66.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. 20-22 & 29-47.
 10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 13. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. 6.
 14. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

Dewberry

FLORIDA
OSCEOLA COUNTY

LOT & BLOCK GRADING PLAN

TWIN LAKES PHASE I

CORPORATE OFFICE: 1405 SOUTH MACDONALD AVENUE, ORLANDO, FLORIDA, 32801
TELEPHONE: 407-243-1300 FAX: 407-243-1301

| DATE | BY | REVISIONS | DESCRIPTION |
|---------|-----|-----------|--|
| 9-16-15 | KJK | 1 | REV PER COUNTY & CITY COMMENTS OFFICE ON |
| 8-6-15 | KJK | 2 | REV PER CITY UTILITIES COMMENTS |
| 6-25-15 | KJK | 3 | REV PER CITY UTILITIES COMMENTS |
| 6-15-15 | KJK | 4 | REV PER COUNTY & OFFICE REVIEW |

CONTRACTOR AS BUILT
DATE: 10/22/15
BY: [Signature]
TITLE: [Signature]
SCALE: 1" = 50'
SHEET: 19 OF 66

SDP 15-0060 PS 15-0006 ZMA 13-0043

SHEET
No. C44

SHEET
No. C43A

SHEET
No. C45A

SHEET
No. C45

SHEET
No. C46

SHEET
No. C47

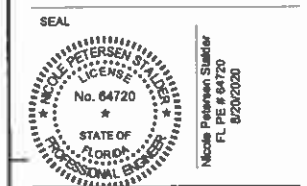
SHEET
No. C48

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

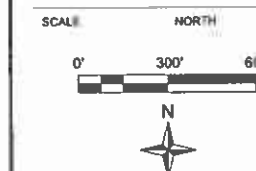


**TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR**

OSCEOLA COUNTY, FLORIDA



Nicole P Stalder
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Stalder PE on the date adjacent
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|-------------|--------------|
| PROJECT # | 50116230 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | NPS |
| DATE | OCTOBER 2019 |
| DATUM | NAVD 88 |

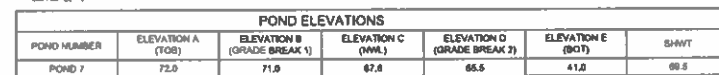
TITLE

**DETENTION
POND
KEY MAP**

PROJECT: J3BNT3\FINAL\WOLFE-STREET A

SHEET NO.

C43



OSCEOLA COUNTY PERMANENT EROSION CONTROL NOTES:

THE EROSION CONTROL FACILITIES OF THE PROJECT SHALL BE DESIGNED TO MINIMIZE THE IMPACT ON OFF-SITE FACILITIES. ALL STORMWATER DISCHARGE FROM THE PROJECT LIMITS SHALL BE ROUTED THROUGH DETENTION BASINS TO TRAP SUSPENDED SEDIMENTS AND DISCHARGE FACILITIES FROM THESE BASINS SHALL BE PROVIDED WITH A SKIMMING DEVICE TO TRAP FLOATABLE DEBRIS.

A. PERMANENT SEEDING

ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL, AS A MINIMUM, BE FERTILIZED AND SEEDING IN ACCORDANCE WITH THE OSCEOLA COUNTY ROAD CONSTRUCTION SPECIFICATIONS.

B. PERMANENT SEEDING AND MULCHING

IN ADDITION TO THE MINIMUM REQUIREMENTS ABOVE, SLOPES OF FROM 6/10 TO 3/1, INCLUSIVE, WILL BE MULCHED WITH A UNIFORM THICKNESS OF APPROXIMATELY TWO INCHES. LOOSE MEASURE OF MULCH MATERIAL INCORPORATED INTO THE SOIL BY MIXING TO A DEPTH OF FOUR INCHES.

C. PERMANENT SODDING

ALL RETENTION/DETENTION BASINS SHALL BE SOLO SODDED AS DESCRIBED IN THIS CHAPTER. ALL EXPOSED AREAS INCLUDING PUBLIC RIGHTS-OF-WAY WITH SLOPES STEEPER THAN 4/1 WILL BE SOLO SODDED.

D. STRIP SODDING

STRIP SOD, 10" WIDE OR GREATER, SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN THE SIDEWALK AND THE BACK OF CURB AND/OR EDGE OF PAVEMENT SHALL BE SODDED.

E. REGRASSING

ALL GRASSED AREAS WILL BE MAINTAINED TO ASSURE A GOOD STAND AND SUFFICIENT GROUND COVER TO MINIMIZE EROSION. IF, AFTER 60 DAYS AN ADEQUATE GROUND COVER HAS NOT BEEN ESTABLISHED, THE AREA WILL BE REGRASSED.

F. ADDITIONAL FERTILIZER

GRASSED AREAS, NOT ACCEPTED WITHIN 90 DAYS OF THEIR COMPLETION, SHALL BE REFERTILIZED AT AN APPLICATION RATE OF 250 LB. PER ACRE.

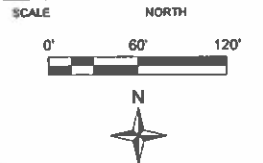
GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 45J.
2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX# 425-001, 425-010, 425-020, 425-021 & 425-052.
3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C19 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C87.
5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
8. STRIP 500 OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT, IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
9. SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE, SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOTEXTILIC FABRICS.
13. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SEAL



Nicole P. Stalder
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Stalder PE on the date adjacent
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and the signature must be
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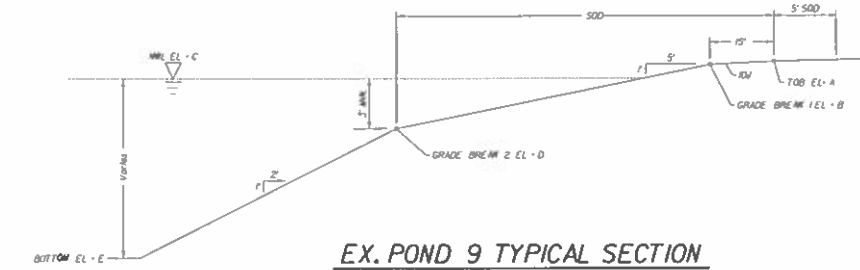
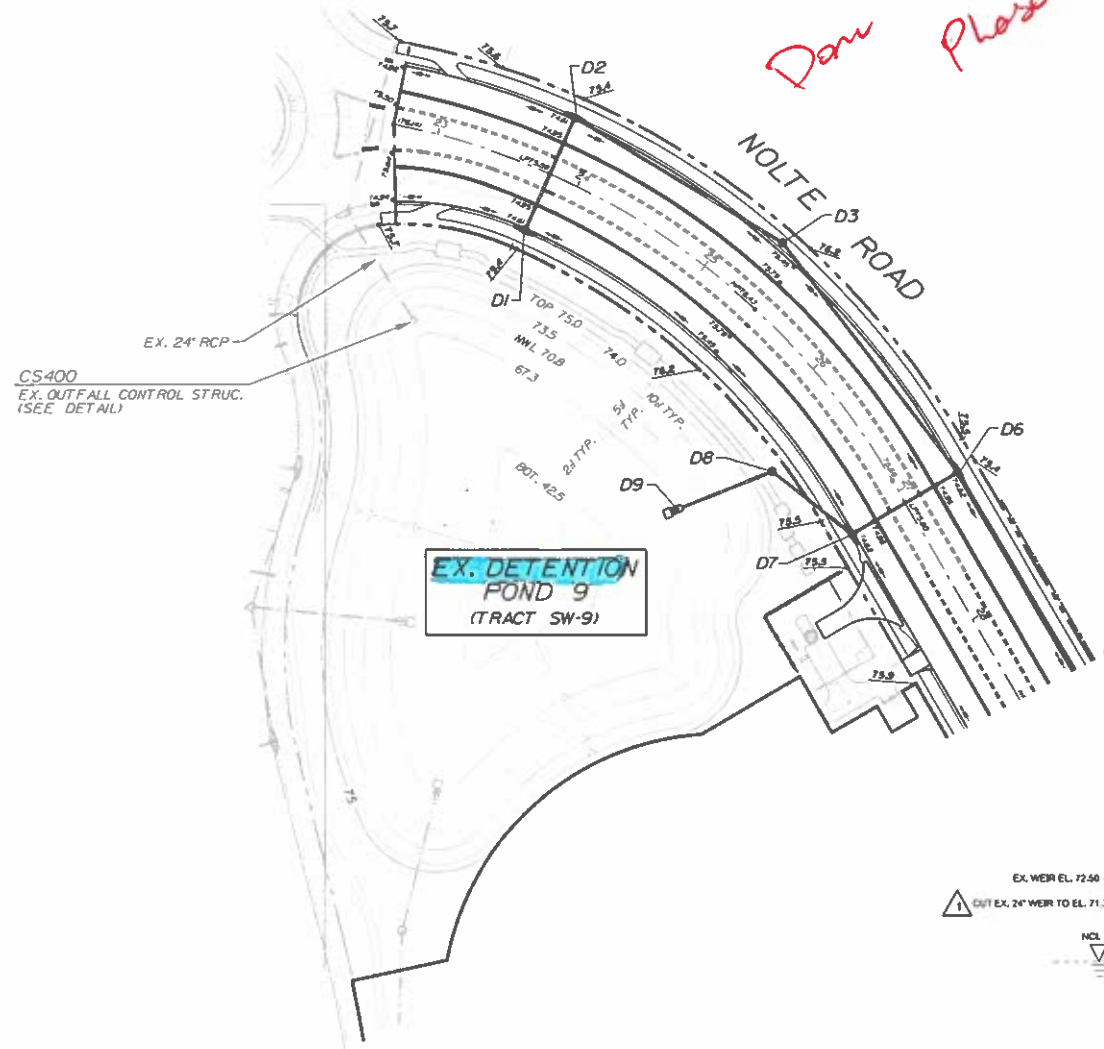
| REVISIONS | | | | |
|-----------|------------|-----|------------------|--|
| No. | DATE | BY | Description | |
| 4 | 05-12-20 | KJK | REV PER QAO | |
| 3 | 04-10-20 | KJK | REV PER COMMENTS | |
| 2 | 03-11-2020 | SH | REV PER REVIEW | |
| 1 | 12-10-19 | KJK | REV. PER CO. | |

| | |
|-------------|--------------|
| PROJECT # | 50116238 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | NPS |
| DATE | OCTOBER 2019 |
| DATUM | NAVD 88 |

TITLE
**EX. DETENTION
POND 9 (CONSTRUCTED
W/PHASE 1)**

PROJECT: J:\BENT3\FINAL\NOLTE-STREET-A
SHEET NO.

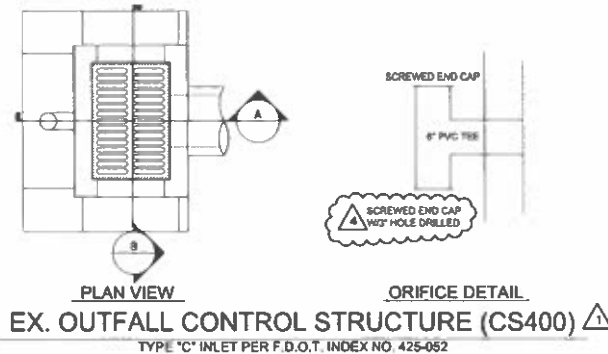
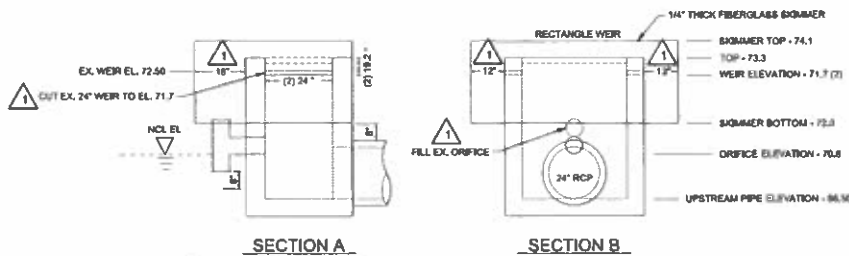
C44



| POND ELEVATIONS | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) |
| POND 9 | 75.0 | 73.5 | 70.8 | 67.3 |

| INTERIM CONDITION POND DESIGN STAGES | | | | |
|--------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 9 | 72.83 | 73.39 | 74.43 | 74.72 |

| FINAL BUILD-OUT POND DESIGN STAGES | | | | |
|------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 9 | 72.83 | 73.37 | 74.43 | 74.73 |



- GRADING NOTES:**
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-002, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C87.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
 8. STRIP 500 OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
 12. CONTRACTOR TO RESOD ALL DISTURBED POND BANKS DUE TO GRADING OR PIPE INSTALLATION.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

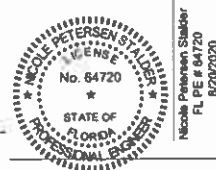


Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8794

TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR

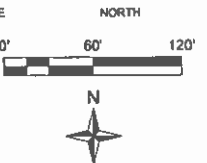
OSCEOLA COUNTY, FLORIDA

SEAL



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Stalder, PE on the date adjacent
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SCALE



REVISIONS

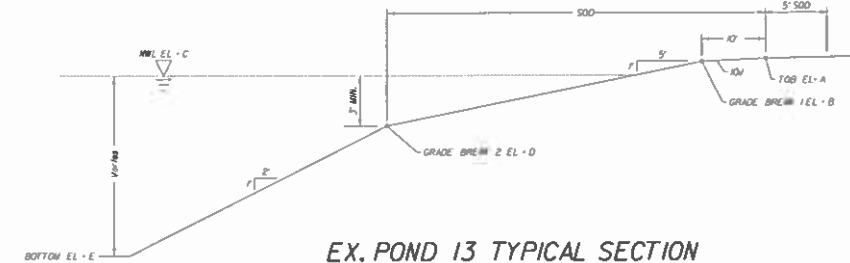
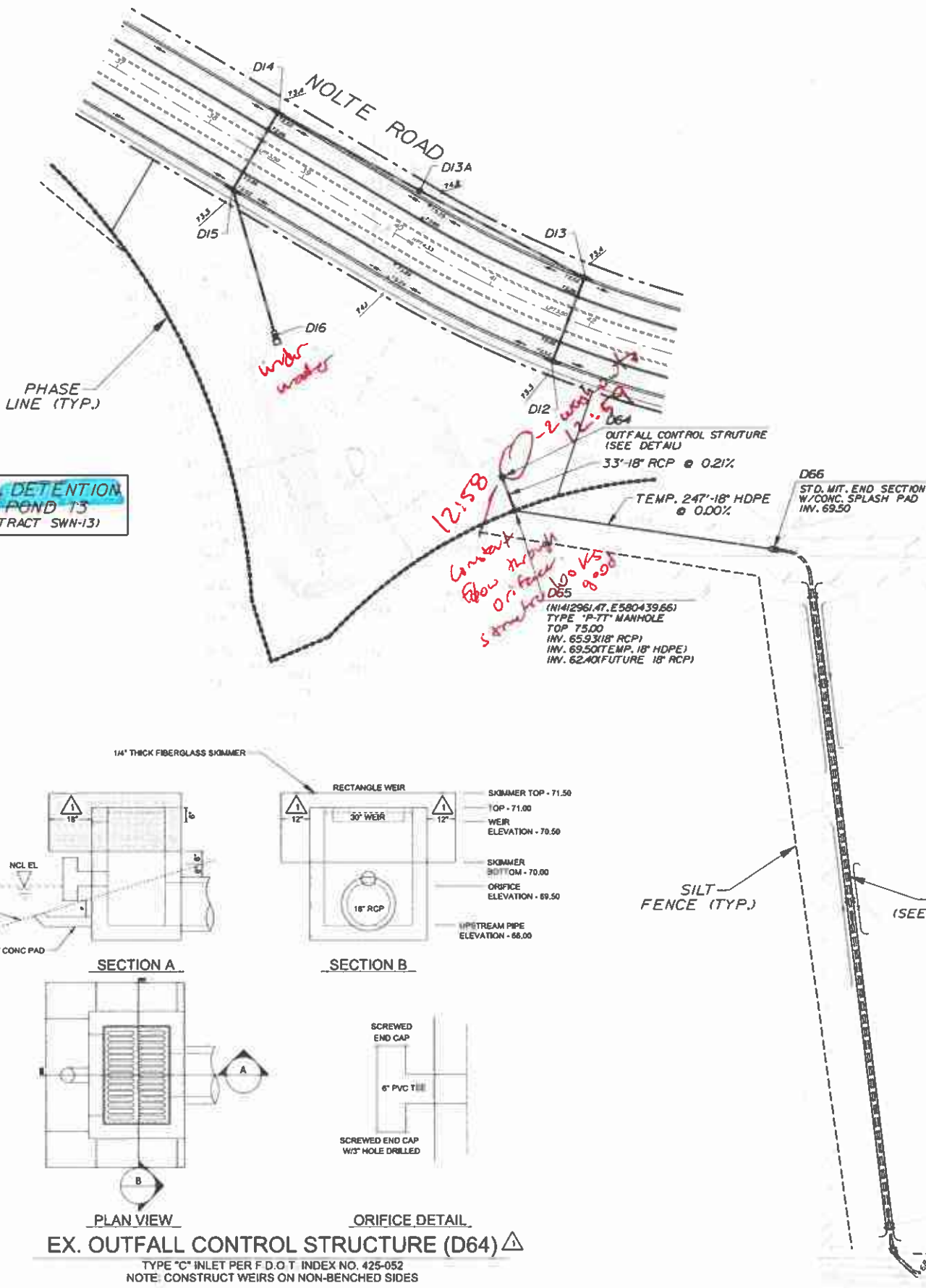
| No. | DATE | BY | Description |
|-----|------------|-----|------------------|
| 4 | 05-12-20 | KJK | REV PER QA/QC |
| 3 | 04-10-20 | KJK | REV PER COMMENTS |
| 2 | 03-11-2020 | SKH | REV PER REVIEW |
| 1 | 12-10-19 | KJK | REV. PER CO. |

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|-------------|--------------|
| PROJECT # | 50116238 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | NPS |
| DATE | OCTOBER 2019 |
| DATUM | NAVD 88 |

TITLE
**EX. DETENTION
POND 13 (CONSTRUCTED
W/PHASE 2)**

PROJECT: JUNIT 3/FINAL NOLTE STREET A
SHEET NO.

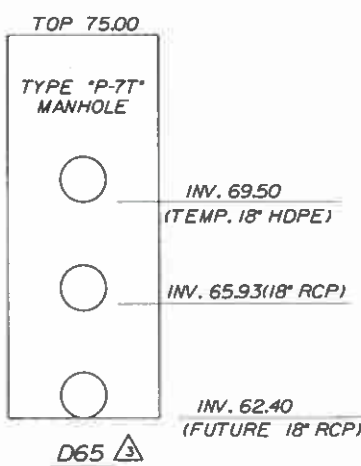
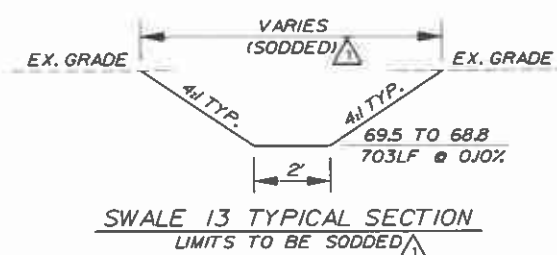
C45



| POND ELEVATIONS | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) |
| POND 13 | 73.5 | 72.5 | 69.5 | 66.5 |

| INTERIM CONDITION POND DESIGN STAGES | | | | |
|--------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 13 | 70.73 | 71.02 | 71.75 | 72.07 |

| FINAL BUILD-OUT POND DESIGN STAGES | | | | |
|------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 13 | 70.79 | 71.16 | 72.15 | 72.45 |



- GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C87.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
 8. STRIP 500 OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
 12. CONTRACTOR TO RESOD ALL DISTURBED POND BANKS DUE TO GRADING OR PIPE INSTALLATION.

SEE SHEET C24 & C25 FOR CONVEYANCE SWALE CONTINUATION

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

-SILT FENCE (TYP.)

D604
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 57.30

72°-36° RCP @ 0.17%

TEMP. 305 24 HDPE
@ 0.5%

D602
(N141344198,E580883.47)
TYPE "P-TT" MANHOLE
TOP 72.60
INV. 57.88

TEMP. 305'-24" HDPE
@ 0.15%

D600
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 58.40

D601
(N1413296.58,E581151.95)
TYPE 'J-TT' MANHOLE
TOP 72.40
INV. 58.34

D700
(N14132)
TYPE
TOP 7
INV. 59

75'-30" RCP @ 0.12%

D701
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 59.00

PHASE
LINE (TYP.)

NOLTE ROAD

The diagram illustrates a typical cross-section of a pond. Key features include:

- Bottom Elevation:** Labeled as *Bottom El. = F* at the left end.
- Water Level:** Indicated by a horizontal line with an inverted triangle symbol, labeled *Water El. = C*.
- Grade Breaks:**
 - Grade Break = 2 El. = D* is marked on the left slope.
 - Grade Break = 1 El. = B* is marked on the right slope.
- Dimensions:**
 - A horizontal distance of *500* is shown from the water level to the right edge.
 - A horizontal distance of *5' 500* is shown from the right edge to the rightmost point.
 - A vertical distance of *10' 100* is shown from the bottom to the water level.
 - A horizontal distance of *10'* is shown from the right edge to the rightmost point.
- Labels:**
 - Top El. = A* is labeled at the rightmost point.
 - Bottom El. = F* is labeled at the left end.

POND TYPICAL SECTION

| POND ELEVATIONS | | | | | |
|-----------------|----------------------|--------------------------------|----------------------|--------------------------------|----------------------|
| POND NUMBER | ELEVATION A
(TOB) | ELEVATION B
(GRADE BREAK 1) | ELEVATION C
(NWL) | ELEVATION D
(GRADE BREAK 2) | ELEVATION E
(BOT) |
| POND 16 | 71.0 | 70.0 | 67.6 | 63.1 | 40.1 |

GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-004, 425-020, 425-021 & 425-052.
3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C8T.
5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
6. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C44-C48, C50-C58 & C60-C62.
7. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE STRIP BETWEEN AND TO THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
8. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
9. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND ORGANIC MATERIAL BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
10. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C29A.
11. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINNED SODDING, OVERLAPPED STRIPS OF EROSION CONTROL GEOTEXTILE FABRICS.
12. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS -879-

TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR

OSCEOLA COUNTY, FLORIDA



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signed and sealed by Nicole P
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adjacent to the seal. Printed
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sealed and the signature must
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copies.


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| | |
|-------------|--------------|
| PROJECT # | 50116238 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | NPS |
| DATE | OCTOBER 2019 |
| DATUM | NAVD 88 |

INT-3-30A-VOLTE STREET A DRAIN

TITLE

DETENTION
POND 16 

PROJECT: J38KNT3FINALVOLTE-STREET

SHEET NO:

C45A

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

INTERIM CONDITION POND DESIGN STAGES

POST DEVELOPMENT PEAK STAGES

| POND NUMBER | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
|-------------|---------------------|---------------------|----------------------|----------------------|
| POND 19 | 67.71 | 68.03 | 68.40 | 68.51 |
| POND 20 | 67.67 | 67.95 | 68.73 | 68.77 |

FINAL BUILD-OUT POND DESIGN STAGES

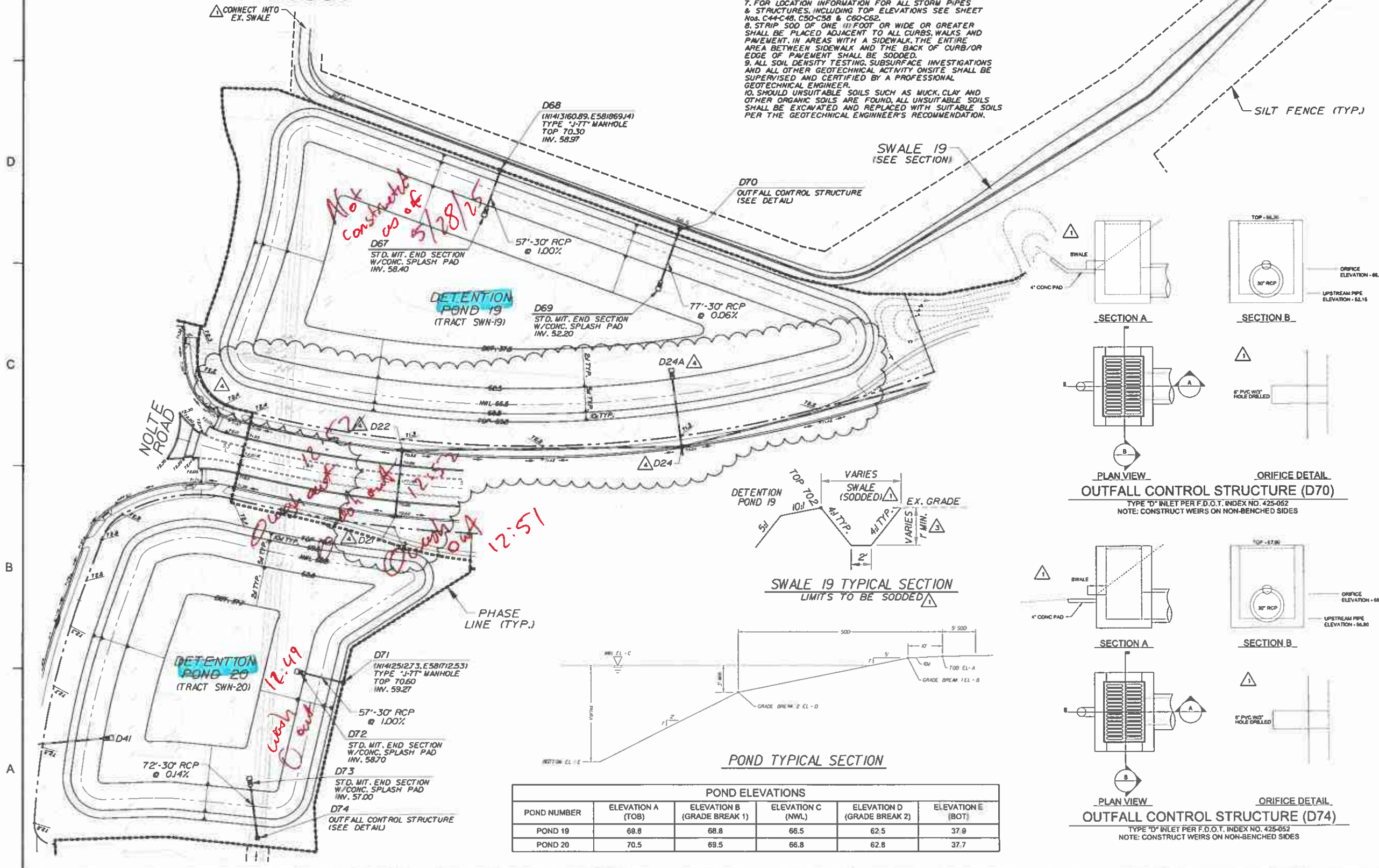
POST DEVELOPMENT PEAK STAGES

| POND NUMBER | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
|-------------|---------------------|---------------------|----------------------|----------------------|
| POND 19 | 68.08 | 68.58 | 69.38 | 69.70 |
| POND 20 | 68.34 | 68.90 | 69.99 | 70.21 |

GRADING NOTES:

1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX: 425-001, 425-002, 425-020, 425-021 & 425-052.
3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C07.
5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
8. STRIP 500 OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT, IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
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11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
13. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.

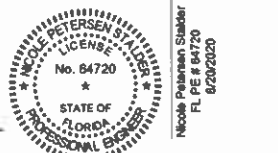


Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.243.5129
ENGINEERING BUSINESS - 4794

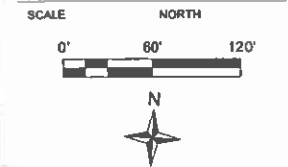
TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Stalder
This item has been digitally
signed and sealed by Nicole P.
Stalder PE on the date adjacent
to the seal. Printed copies of
this document are not
considered signed and sealed
and the signature must be
verified on any electronic
copies.
2020.08.24 15:51:05 -0400'



| REVISIONS | | | | |
|-----------|----------|-----|------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 4 | 05-12-20 | KJK | REV PER QMOC | |
| 3 | 04-10-20 | KJK | REV PER COMMENTS | |
| 1 | 12-10-19 | KJK | REV PER CO. | |

PROJECT # 50116238
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY NPS
DATE OCTOBER 2019
DATUM NAVD 88

TITLE
DETENTION
POND
19 & 20
PROJECT: J:\BKN\3\FINAL\NOLTE-STREET A
SHEET NO.

C46

1. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE DESIGNER BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE CLIENT BY THE CLIENT.

2. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE DESIGNER BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE CLIENT BY THE CLIENT.

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5. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE DESIGNER BY THE CLIENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE DATA AND INFORMATION PROVIDED TO THE CLIENT BY THE CLIENT.

D43

(N141439.89, E581447.84)
STRUC. FOR FUTURE 'P-6' INLET
TOP 72.41
TEMP. TOP SLAB 70.41
INV. 67.90

D43A

(N141413.39, E581447.60)
STRUC. FOR FUTURE 'P-6' INLET
TOP 72.41
TEMP. TOP SLAB 70.41
INV. 67.80(15)
INV. 63.82(24)

D42

(N141437.46, E581716.13)
STRUC. FOR FUTURE 'P-6' INLET
TOP 71.88
TEMP. TOP SLAB 69.88
INV. 65.00

32'-15" RCP @ 0.32%
27'-15" RCP @ 0.37%
250'-18" RCP @ 0.21%

FUTURE STREET 'S-A'

37'-24" RCP @ 0.19%

FUTURE PHASE 8

D42A

(N141411.12, E581697.59)
STRUC. FOR FUTURE 'P-6' INLET
TOP 71.88
TEMP. TOP SLAB 69.88
INV. 64.90(15)
INV. 64.70(18)

199'-24" RCP @ 0.20%

D77

STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 64.00

168'-24" RCP @ 0.21%

D76

(N141441.06, E581776.14)
TYPE 'P-TT' MANHOLE
TOP 72.41
INV. 64.35

199'-24" RCP @ 0.20%

D75

OUTFALL CONTROL STRUCTURE
(SEE DETAIL)

D45

TOP 71.88
NWL 68.0

D46

TOP 71.88
NWL 68.0

D47

TOP 71.88
NWL 68.0

D48

TOP 71.88
NWL 68.0

D49

TOP 71.88
NWL 68.0

D50

TOP 71.88
NWL 68.0

D51

TOP 71.88
NWL 68.0

D52

TOP 71.88
NWL 68.0

D53

TOP 71.88
NWL 68.0

D54

TOP 71.88
NWL 68.0

D55

TOP 71.88
NWL 68.0

D56

TOP 71.88
NWL 68.0

D57

TOP 71.88
NWL 68.0

D58

TOP 71.88
NWL 68.0

D59

TOP 71.88
NWL 68.0

D60

TOP 71.88
NWL 68.0

D61

TOP 71.88
NWL 68.0

D62

TOP 71.88
NWL 68.0

D63

TOP 71.88
NWL 68.0

D64

TOP 71.88
NWL 68.0

D65

TOP 71.88
NWL 68.0

D66

TOP 71.88
NWL 68.0

D67

TOP 71.88
NWL 68.0

D68

TOP 71.88
NWL 68.0

D69

TOP 71.88
NWL 68.0

D70

TOP 71.88
NWL 68.0

D71

TOP 71.88
NWL 68.0

D72

TOP 71.88
NWL 68.0

D73

TOP 71.88
NWL 68.0

D74

TOP 71.88
NWL 68.0

D75

TOP 71.88
NWL 68.0

D76

TOP 71.88
NWL 68.0

D77

TOP 71.88
NWL 68.0

NORTH/SOUTH ALLIGATOR LAKE ROAD

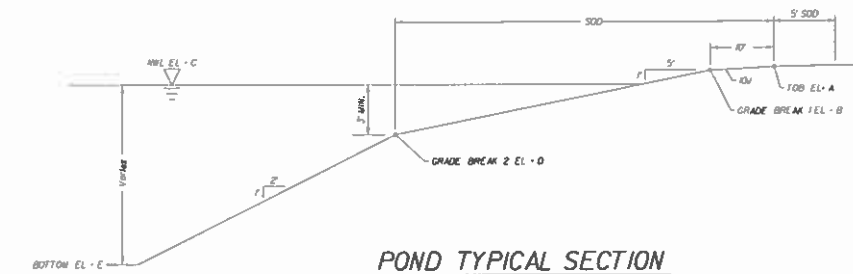
DETENTION
POND 25
(TRACT SWN-25)

PHASE
LINE (TYP.)

D8-11
(N1410866.35, E581917.86)
TYPE 'J-TT' MANHOLE
TOP 71.0
INV. 58.67

GRADING NOTES:

1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.31.
2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX 425-001, 425-002, 425-020, 425-021 & 425-052.
3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C87.
5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CCD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
8. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.



POND TYPICAL SECTION

POND ELEVATIONS

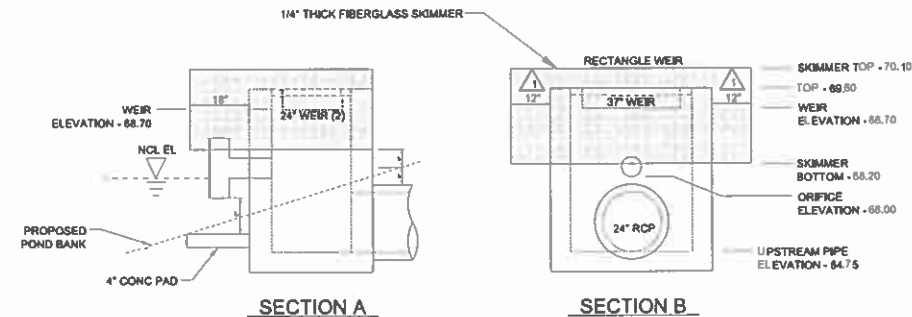
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
|-------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND 25 | 71.0 | 70.0 | 68.0 | 64.0 | 37.0 |

INTERIM CONDITION POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|------------------|-------------------|-------------------|
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 25 | 69.10 | 68.49 | 70.31 | 70.49 |

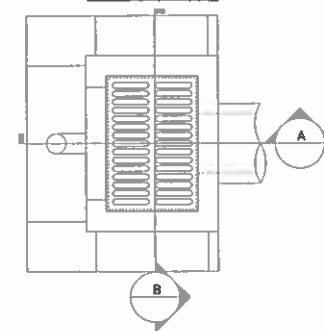
FINAL BUILT-OUT POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|------------------|-------------------|-------------------|
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 25 | 69.11 | 69.51 | 70.34 | 70.52 |

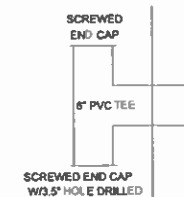


SECTION A

SECTION B



PLAN VIEW



ORIFICE DETAIL

OUTFALL CONTROL STRUCTURE (D75)

TYPE 'D' INLET PER F.D.O.T. INDEX NO. 425-052
NOTE: CONSTRUCT WEIRS ON NON-BENCHED SIDES

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5100
ENGINEERING BUSINESS - 8794

TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Stalder

This item has been digitally signed and sealed by Nicole P. Stalder PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

2020.08.24 15:52:05 -0400

SCALE

NORTH



N

REVISIONS

| No. | DATE | BY | Description |
|-----|------------|-----|------------------|
| 4 | 05-12-20 | KJK | REV PER QA/QC |
| 3 | 04-10-20 | KJK | REV PER COMMENTS |
| 2 | 03-11-2020 | DKO | REV PER REVIEW |
| 1 | 12-10-19 | KJK | REV PER CO. |

PROJECT # 50116238
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY NPS
DATE OCTOBER 2019
DATUM NAVD 88

TITLE

DETENTION
POND 25

PROJECT: JSBKN73F1NALNOLTE-STREET A
SHEET NO.

C47

THIS APPROVAL IS SUBJECT TO THE CITY OF OSCEOLA COUNTY AND THE CITY ENGINEER'S REVIEW OF THE PROJECT. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PROJECT AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY ENGINEER'S REVIEW IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY ENGINEER'S REVIEW IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.

1

2

3

4

5

POND TYPICAL SECTION

| POND ELEVATIONS | | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
| POND 26 | 67.3 | 66.3 | 64.5 | 60.5 | 33.5 |

TEMP. SWALE BY-PASS

DIO1 Δ
STA. 19+85.76, 34.25' LT.
TYPE "J-TT" MANHOLE
TOP 72.20
INV. 65.46
 Δ 54'-36" RCP @ 0.17%

NORTH/SOUTH
ALLIGATOR LAKE
ROAD CONNECTOR

TEMP. 5' WIDE
BOTTOM SODDED
SWALE BY-PASS
 Δ 359'-30" RCP @ 0.12%

D57 Δ
(N140996993, E58195916)
TYPE "J-TT" MANHOLE
TOP 69.80
INV. 60.92(30')
INV. 58.97(42')

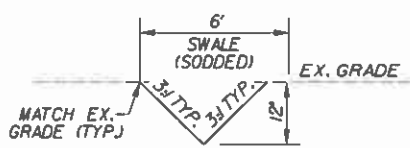
FUTURE 42" RCP
(PHASE 8)

PHASE
LINE (TYP.)

TEMPORARY CONST. ACCESS Δ
PIPES TO BE REMOVED AT
THE COMPLETION OF POND 26
40'-36" CMP @ 0.75%

14:30
Vegetation &
Sediment

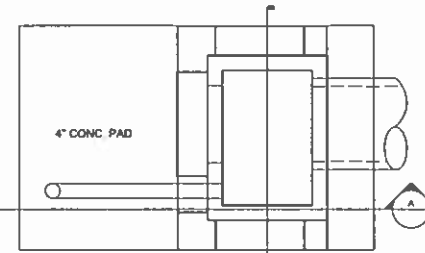
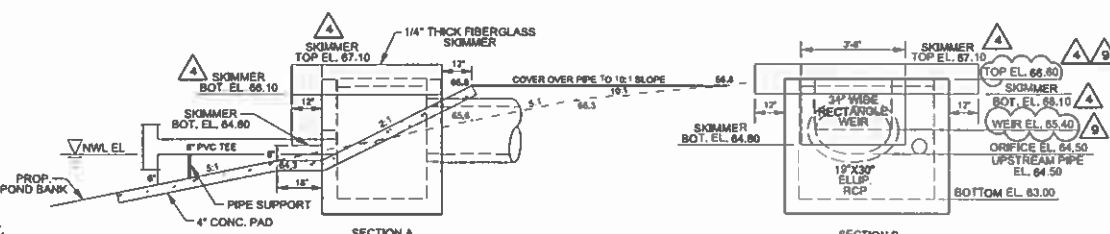
Constant
flow in
the
structure
looks
good

TEMP. BY-PASS SWALE SECTION Δ POND OUTFALL SECTION Δ

| INTERIM CONDITION POND DESIGN STAGES Δ Δ Δ | | | | |
|---|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 26 | 65.95 | 66.35 | 66.95 | 67.21 |

| FINAL BUILT-OUT POND DESIGN STAGES Δ Δ Δ | | | | |
|---|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 26 | 65.94 | 66.32 | 66.99 | 67.28 |

- GRADING NOTES:**
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 45J.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX, 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C87.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CCD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C44-C48, C50-C58 & C60-C62.
 8. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C29A.
 12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
 14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.

OUTFALL CONTROL STRUCTURE (D62) Δ

TYPE "E" INLET PER F.D.O.T. INDEX NO. 425-052
NOTE: CONSTRUCT WEIRS ON NON-BENCHED SIDES

PHASE
LINE (TYP.)

ALLIGATOR LAKE ROAD

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.241.5120
ENGINEERING BUSINESS 4794

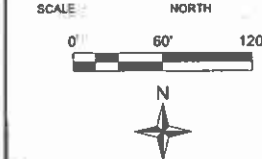
TWIN LAKES
NOLTE ROAD &
NORTH/SOUTH
ALLIGATOR LAKE ROAD
CONNECTOR

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Scider
I have been digitally signed and sealed by Nicole P. Scider on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
2021.02.25 10:35:54 -05'00'



| REVISIONS | | | | |
|-----------|------------|-----|------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 9 | 11-12-21 | MDC | REV DRAINAGE | |
| 6 | 10-25-20 | KJK | REV PIPE SIZE | |
| 4 | 05-12-20 | KJK | REV PER QAVOC | |
| 3 | 04-10-20 | KJK | REV PER COMMENTS | |
| 2 | 03-11-2020 | DKO | REV PER REVIEW | |
| 1 | 12-10-19 | KJK | REV. PER CO. | |

| | |
|-------------|----------------|
| PROJECT # | 50116238 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | NPS |
| DATE | SEPTEMBER 2020 |
| DATUM | NAVD 88 |
| TITLE | |

DETENTION
POND 26

PROJECT: J:\B03\J3\FINAL\NOLTE-STREET A
SHEET NO.

C48

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP16-0088 - 01/22/18

Osceola County
Community Development

Drawing Index

THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONFORMANCE WITH THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD. 601 COUNTY COMMISSIONERS IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO CORRECT ANY DEFECTS IN PLANS OR THE FACILITY AS REQUIRED TO MEET WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS NOR DOES IT RELIEVE THE APPLICANT OF RESPONSIBILITY FOR THOSE REQUIREMENTS. APPROVAL AND DETAILS THAT MAY BE WITHIN THESE DRAWINGS SHALL BE CONSIDERED UNDER THE REVIEW AND AUTHORITY OF JURISDICTION OTHER THAN OSCEOLA COUNTY. THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT VALID WITHOUT AN ACTIVE ENGINEERING PERMIT

- 6 1
D
C
B
A
- C17
 - C18
 - C19
 - C20
 - C21
 - C22
 - C23
 - C24
 - C25
 - C26
 - C27-C28
 - C29-C30
 - C31
 - C32-C46
 - C47-C49
 - C50-C53
 - C54-C59
 - C60-C61
 - C62

Landscape

- L1-10-L1-12 LAYOUT PLAN
- L2-10-L2-13 LANDSCAPE PLAN
- L2-20 NOTES, LEGEND & DETAILS

Irrigation

- IR1-IR10 IRRIGATION PLAN
- IR11-IR12 IRRIGATION DETAILS
- IR13 IRRIGATION NOTES

LEGAL DESCRIPTION:

PHASE 2

A PORTION OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 31 EAST, TOGETHER WITH A PORTION OF LOTS 7 AND 8 AND THAT PLATTED UNNAMED RIGHT OF WAY LYING NORTHERLY THEREOF, THE SEMINOLE LAND AND INVESTMENT COMPANY'S (INCORPORATED) SUBDIVISION OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 31 EAST, ACCORDING TO THIS PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 26, OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE RUN S89°38'45"E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD (VARIABLE RIGHT OF WAY WIDTH) PER OFFICIAL RECORDS BOOK 3953, PAGE 1367, PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; THENCE RUN ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES; THENCE S 00°13'55" W, A DISTANCE OF 68.79 FEET; THENCE S 89°59'46" W, A DISTANCE OF 10.00 FEET; THENCE S 00°13'55" W, A DISTANCE OF 290.20 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE RUN S 89°46'05" E, A DISTANCE OF 30.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 32.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 38.00 FEET, A CHORD BEARING OF 31°45'25" E, A CHORD BEARING OF N 74°21'02" E AND A CHORD DISTANCE OF 20.79 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 21.06 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 71.00 FEET, A CENTRAL ANGLE OF 55°32'04" E, A CHORD BEARING OF N 62°27'42" E AND A CHORD DISTANCE OF 66.16 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 68.82 FEET TO THE END OF SAID CURVE; THENCE S 89°45'55" E, A DISTANCE OF 141.46 FEET; THENCE N 00°13'55" E, A DISTANCE OF 141.77 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 73.00 FEET, A CENTRAL ANGLE OF 55°59'32" E, A CHORD BEARING OF N 28°06'50" E AND A CHORD DISTANCE OF 66.66 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 69.38 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 41°08'22" E, A CHORD BEARING OF N 20°41'15" E AND A CHORD DISTANCE OF 26.70 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 27.28 FEET TO THE END OF SAID CURVE; THENCE S 89°46'05" E, A DISTANCE OF 28.63 FEET; THENCE N 00°13'55" E, A DISTANCE OF 9.50 FEET; THENCE S 89°46'05" E, A DISTANCE OF 5.63 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 743.00 FEET, A CENTRAL ANGLE OF 13°33'58" E, A CHORD BEARING OF N 83°26'56" E AND A CHORD DISTANCE OF 175.51 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 175.92 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 1385.00 FEET, A CENTRAL ANGLE OF 13°20'03" E, A CHORD BEARING OF N 83°19'59" E AND A CHORD DISTANCE OF 321.60 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 22.32 FEET TO A POINT OF TANGENCY, THENCE N 90°00'00" E, A DISTANCE OF 222.06 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 67°31'24" E, A CHORD BEARING OF 5°56'14"18" E AND A CHORD DISTANCE OF 66.69 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 70.71 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 14°28'11" E, A CHORD BEARING OF S 15°14'30" E AND A CHORD DISTANCE OF 46.60 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 46.72 FEET TO THE END OF SAID CURVE; THENCE N 90°00'00" E, A DISTANCE OF 111.80 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 85°20'36" E, A CHORD BEARING OF N 42°40'18" E AND A CHORD DISTANCE OF 81.34 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 89.37 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 28°10'48" E, A CHORD BEARING OF S 80°34'00" E AND A CHORD DISTANCE OF 90.07 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 90.99 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 445.00 FEET, A CENTRAL ANGLE OF 36°14'21" E, A CHORD BEARING OF S 48°21'26" E AND A CHORD DISTANCE OF 276.79 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 281.46 FEET TO A POINT OF TANGENCY; THENCE S 30°14'15" E, A DISTANCE OF 35.69 FEET; THENCE S 59°45'45" W, A DISTANCE OF 65.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 90.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 35.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 20.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 20.00 FEET; THENCE N 30°14'15" W, A DISTANCE OF 20.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 10.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 163.67 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 855.00 FEET, A CENTRAL ANGLE OF 29°18'04" E, A CHORD BEARING OF S 44°53'12" E AND A CHORD DISTANCE OF 432.50 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 437.25 FEET TO A POINT OF TANGENCY; THENCE S 59°32'19" E, A DISTANCE OF 627.88 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 1055.00 FEET, A CENTRAL ANGLE OF 11°41'43" E, A CHORD BEARING OF S 65°23'10" E AND A CHORD DISTANCE OF 214.97 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 215.35 FEET TO THE END OF SAID CURVE; THENCE S 18°45'58" W, A DISTANCE OF 108.59 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 447.00 FEET, A CENTRAL ANGLE OF 31°36'09" E, A CHORD BEARING OF S 58°14'17" W AND A CHORD DISTANCE OF 243.44 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 146.55 FEET TO THE END OF SAID CURVE; THENCE S 66°43'12" W, A DISTANCE OF 64.74 FEET; THENCE S 19°48'38" W, A DISTANCE OF 186.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 18°19'10" E, A CHORD BEARING OF S 11°44'35" W AND A CHORD DISTANCE OF 205.99 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 206.87 FEET TO THE END OF SAID CURVE; THENCE S 00°16'49" W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 15°26'18" E, A CHORD BEARING OF S 09°44'31" E AND A CHORD DISTANCE OF 173.81 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 174.33 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 10°56'36" E, A CHORD BEARING OF S 11°59'22" E AND A CHORD DISTANCE OF 123.39 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 123.57 FEET TO THE END OF SAID CURVE; THENCE S 03°52'35" E, A DISTANCE OF 62.76 FEET; THENCE S 00°16'49" W, A DISTANCE OF 179.69 FEET; THENCE S 89°43'11" E, A DISTANCE OF 12.80 FEET; THENCE S 00°16'49" W, A DISTANCE OF 247.76 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE N 89°43'11" W ALONG SAID SOUTH LINE A DISTANCE OF 1208.70 FEET TO THE NORTHEAST CORNER OF THE AFORESAID LOT 7; THENCE RUN S00°25'24"W ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 331.31 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN N89°44'39"W ALONG THE SOUTH LINE OF SAID LOTS 7 AND 8, A DISTANCE OF 1198.80 FEET TO THE AFORESAID EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD; THENCE RUN ALONG SAID EAST RIGHT OF WAY THE FOLLOWING THREE (3) COURSES AND DISTANCES, N00°27'37"E, A DISTANCE OF 0.94 FEET; THENCE RUN N89°32'12"W, A DISTANCE OF 1.00 FEET; THENCE RUN N00°27'16"E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 330.83 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES; N 00°13'55" E, A DISTANCE OF 1266.45 FEET; THENCE N 89°46'37" W, A DISTANCE OF 10.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 1014.41 FEET TO THE POINT OF BEGINNING

CONTAINING: 140.497 ACRES MORE OR LESS.



SUNSHINE STATE TICKET NUMBERS 274400221, 274400123 AND 274400185

TWIN LAKES PHASES 2A & 2B W/MASS GRADING

OF 2C & 2D

Osceola County, Florida CONSTRUCTION PLANS

Submittal

Parcel ID. Numbers

17-26-31-0000-0040-0000 Portion
17-26-31-0000-0050-0000 Portion,
17-26-31-0000-0060-0000
& 20-26-31-4950-0001-0070



NOTE:
THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, BOAT DOCKS, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE/RETAINING WALLS.

UTILITY PROVIDERS

SEWER, WATER & RECLAIM

CITY OF ST. CLOUD
1300 9TH STREET
ST. CLOUD, FLORIDA 34769
407-957-7344

POWER

OUC ELECTRIC
5003 PERSHING AVENUE
ORLANDO, FLORIDA 32822
407-384-4100

TELEPHONE

CENTURYLINK
1359 VINE STREET
KISSIMMEE, FLORIDA 34741
407-390-6302

CABLE

BRIGHTHOUSE
3613 GRISSOM LANE
KISSIMMEE, FLORIDA 34741
407-532-8509

Prepared For

NARCOOSSEE LAND VENTURES, LLC
370 CENTER POINTE CIRCLE
ALTAMONTE SPRINGS, FLORIDA 32701

Civil Engineer /Environmental

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9711
CONTACT: DANIELLE VAN DE LOO, P.E.

Survey-Topographic

HANSON, WALTER & ASSOCIATES
400 ENMITT STREET
KISSIMMEE, FLORIDA 34741
PHONE: (407) 847-9433
CONTACT: RANDY HANSON

Survey-Boundary & Topographic

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9834
CONTACT: BILL DONLEY, P.S.M.

Geotechnical Engineer

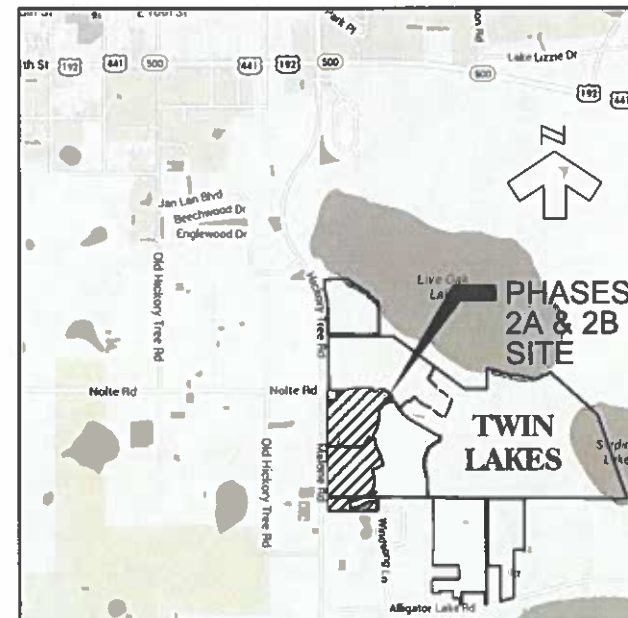
UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: GUY H. RABENS, M.S., P.E.

Traffic Engineer

LUKE TRASPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.

Landscape Architect

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9744
CONTACT: MICHAEL URCHUK



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA

Danielle M Van De Loo

This item has been

electronically signed and sealed by Danielle M Van de Loo, PE using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

2017.12.12 13:13:59 -05'00'



| No. | DATE | BY | Description |
|-----|----------|-----|-----------------------------|
| 8 | 12-12-17 | DMV | REV PER COMMENT |
| 7 | 10-27-17 | TFS | REV PER CLIENT |
| 6 | 10-18-17 | TFS | REV PER MASS GRADING LIMITS |
| 5 | 10-4-17 | TFS | REV PER CLIENT |
| 4 | 9-20-17 | TFB | REV PER SHOP DRAWINGS |
| 3 | 8-2-17 | TFB | REV PER CLIENT |
| 2 | 11-9-16 | TFS | REV PER COMMENTS |
| 1 | 9-22-16 | TFB | REV PER COMMENTS |

| REVISIONS |
|------------------|
| DRAWN BY TFS |
| APPROVED BY DMV |
| CHECKED BY DMV |
| DATE AUGUST 2016 |
| DATUM NAVD 88 |

TITLE

COVER SHEET

PROJECT NO. JABKNT-1/FinalPhase 2

C01

SHEET NO.

SDP 16-0088 PS 15-00025 ZWA 13-0045



2. Contractor and its subcontractors shall use, handle, transport, and dispose of all hazardous materials (as defined herein) in compliance with all present Federal, state and local environmental, health or safety laws, including, but not limited to, all such statutes, regulations, rules, ordinances, codes, and rules of common law.

3. Contractor further agrees that contractor and its subcontractors shall not cause the discharge, release or disposal of any hazardous material created by the work on or about the job site, in the event of any spill, release or any other reportable occurrence, contractor shall notify the appropriate governmental agency and shall take such action as may be necessary to minimize the deleterious effect of such spill on persons or property.

4. Contractor and its subcontractors shall, upon completion of performance of all duties under this contract, restore all supplies, materials, and waste containing any hazardous material from the job site. Contractor shall bear full financial responsibility, as between the parties of this contract, for the compliance of contractor and its subcontractors with the provisions as outlined herein.

5. Contractor agrees to indemnify, defend, protect and hold the owner harmless from and against any claims including, without limitation, actual attorney's fees and any costs of investigation, claims testing, governmental approvals, rescission and cleanup arising out of or in any way connected with the failure of contractor or its subcontractors, or their agents, employees, officers, or representatives, to comply with the terms as described herein.

6. Should contractor or its subcontractors discharge, release or dispose of any hazardous material on or about the job site in violation of this paragraph, contractor shall immediately inform the owner in writing. In the event of any spill, release or any other reportable occurrence, contractor shall notify the appropriate governmental agency(s) and shall take such action as may be necessary to minimize the deleterious effect of such spill on persons, property or the environment.

7. In the event contractor or its subcontractors encounter on the premises any plutonium, underground storage tank or other container, of any kind, that may contain a hazardous material, or encounter material reasonably believed to be a hazardous material, contractor shall immediately stop work in the area affected and report the condition to the owner in writing.

8. If contractor or its subcontractors do not comply with the requirements as outlined herein, owner may, but is not obligated to, give written notice of violation to contractor. Should contractor or the subcontractors fail to comply with the requirements of this paragraph within 15 days of receipt of such written notice, contractor shall be in default of the contract or within the time or extended period specified by any governmental agency, whichever period is shorter, contractor shall be in material default of this contract.

9. All areas used for fuel storage shall have the property owner's prior approval and appropriate measures shall be taken to insure protection of groundwater and soil resources.

10. During construction, when combustibles are brought on to the site, across roads and a suitable temporary or permanent supply of water, acceptable to the fire department shall be provided and authorized Chapter 8, NFPA 1 E200 Edition (NFPA 2000 Edition),

CECILIA COUNTY SOIL EROSION/STABILIZING OPERATING STANDARDS:

1. Prior to excavation, the perimeter of the permitted soil excavation shall be adequately staked to delineate the excavation. These stakes shall be maintained throughout the duration of excavation and reconstruction. The County Manager may require a legal description of the soil excavation when necessary for determining siting and location of the land excavation.
2. The standard slope for the side of a levee creation, installation, or dredging shall be four (4) feet measured horizontally to one (1) foot measured vertically (4:1) to a depth of ten (10) feet below, normal water level. Slopes less than four (4) feet measured horizontally to one (1) foot measured vertically (4:1) to a depth of ten (10) feet below the water level shall be no steeper than four (4) feet measured horizontally to one (1) foot measured vertically (4:1) to the bottom of the excavation. Any mitigated wetlands shall be staked and vegetated in accordance with state, Federal law and other provisions of the Ordinance.
3. Required side slopes shall be constructed and maintained as excavation progresses. Side slopes shall not be exceeded and backfilled, unless approved by the County Manager.
4. Medium and large soil excavations shall be secured with a fence and gate to prevent unauthorized access to the soil excavation. All points of access shall be secured when activity is not occurring in the soil excavation. The fence shall be posted at 500' intervals for the length of the excavation.
5. Ingress/egress aprons are required for all soil excavations from which material is excavated and transported on a public road. Aprons shall be geometrically designed according to the specifications of the FDOT. The ingress/egress apron shall be maintained throughout the duration of the soil excavation and shall be of such length to remove access earth/sand from the road (minimum length to right-of-way line).
6. A site sign shall be posted at the soil excavation site access onto a public road, as well as advance warning signs on the public road designating of "Truckstop Ahead" sign.
7. Gravel, crushed material shall be transported along a course from the soil excavation to the point of ingress/egress access which will have the least adverse impact, if any, on surrounding land uses and/or environmentally significant areas. This site shall be reviewed and approved on the excavation site plan by the County.



SDP16-0088 - 01/22/18

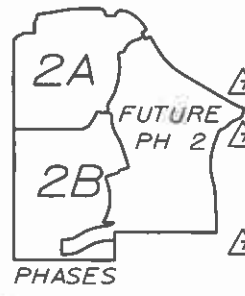
Osceola County
Community Development

THIS APPROVAL IS LIMITED TO THE SPECIFIC CONFORMANCE OF THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL ORDINANCES OF THE BOARD OF COUNTY COMMISSIONERS. IT DOES NOT REPRESENT THE RESPONSIBILITY OF THE DEVELOPER OR THE FACILITY AS COMPLETED WHICH RESULT IN A FAILURE TO APPLICABLE CODE REQUIREMENTS. DOES IT BELIEVE THE INTERESTS RESPONSIBILITY TO MEET THE REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED IN THESE DRAWINGS SHALL BE CONSIDERED UNDER THE PREVIEW AUTHORITY OF JURISDICTION OTHER THAN OSCEOLA COUNTY. IS HER PART OF THIS APPROVAL. THIS SPECIAL APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

1 2 3 4 5

NOTE: SEE SHEET No. C6I FOR TYPICAL SECTIONS.

ACRES
PHASE 2A - 38.41
PHASE 2B - 42.16
FUTURE PH 2 - 59.93
TOTAL PHASE 2 ACRES - 140.50
ADDITIONAL MASS GRADING - 2400
TOTAL SITE ACRES - 164.50



| TRACT TABLE | | | | | | |
|-------------|------|--------------------|--------------------|----------------|----------------|--|
| TRACT | AREA | DESIGNATION | USE | OWNERSHIP | MAINTENANCE | |
| R-8 | 6.28 | ROADWAY | ROADWAY | HOA | HOA | |
| R-9 | 8.31 | ROADWAY | ROADWAY | HOA | HOA | |
| SW-9 | 2.89 | DETENTION POND | POND/OPEN SPACE | HOA | HOA | |
| SW-10 | 7.79 | DETENTION POND | POND/OPEN SPACE | HOA | HOA | |
| SW-14 | 6.93 | DETENTION POND | POND/OPEN SPACE | HOA | HOA | |
| SW-15 | 1.89 | DETENTION POND | POND/OPEN SPACE | HOA | HOA | |
| OS-10 | 3.92 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-19 | 0.11 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-20 | 0.90 | PARK/OPEN SPACE | ACTIVE/RECREATION | HOA | HOA | |
| OS-21 | 0.28 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-22 | 1.40 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-23 | 0.44 | PARK/OPEN SPACE | ACTIVE/RECREATION | HOA | HOA | |
| OS-24 | 0.43 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-25 | 1.38 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-26 | 0.22 | OPEN SPACE | OPEN SPACE | HOA | HOA | |
| OS-27 | 0.83 | PARK/OPEN SPACE | ACTIVE/RECREATION | HOA | HOA | |
| OS-28 | 0.31 | PARK/OPEN SPACE | ACTIVE/RECREATION | HOA | HOA | |
| OS-38 | 1.32 | WETLAND BUFFER | WETLAND BUFFER | HOA | HOA | |
| WB-2 | 2.64 | WETLAND | WETLAND | HOA | HOA | |
| DED-4 | 0.39 | ROADWAY DEDICATION | ROADWAY | OSCEOLA COUNTY | OSCEOLA COUNTY | |
| DED-5 | 0.45 | ROADWAY DEDICATION | ROADWAY | OSCEOLA COUNTY | OSCEOLA COUNTY | |
| FD-1 | 2.85 | FUTURE DEVELOPMENT | FUTURE DEVELOPMENT | NVL | NVL | |

NOTE: SIZE & CONFIGURATION OF TRACTS MAY VARY SLIGHTLY WITH FINAL SUBDIVISION PLANS.

FD-1 BREAKDOWN
DEVELOPABLE 2.06 Ac.
WETLAND BUFFER 0.27 Ac.
WETLAND 0.32 Ac.
TOTAL 2.65 Ac.

SITE DATA

TOTAL AREA PHASE 2A & 2B 80.57 Ac.
TOTAL DEVELOPABLE AREA 76.77 Ac.
TOTAL LOTS 190 LOTS
NET DENSITY: 190 LOTS/59.47 (DEVELOPABLE AREA - STORMWATER PONDS) 3.19 LOTS/AC.
EXISTING ZONING LDR (LOW DENSITY RESIDENTIAL)
EXISTING LAND USE VACANT
DEVELOPABLE AREAS
RESIDENTIAL (LOTS) 34.61 Ac.
STORMWATER PONDS 17.30 Ac.
PRIVATE STREETS 1.57 Ac.
OPEN SPACE (TRACTS OS-18 TO OS-28, OS-38, PORTION OF FD-1) 2.23 Ac.
FUTURE DEVELOPMENT (PORTION OF FD-1) 2.06 Ac.
TOTAL 76.77 Ac.
REQUIRED TREES (DETACHED PRODUCT)
TWO (2) TREES PER LOT 380 (190 X 2)
ONE (1) TREE PER FOURTY (40) LF OF ROAD 238 (9523/40)
TOTAL TREES REQUIRED 618

POND AREA
REQUIRED (15% DEVELOPABLE AREA): 11.52 Ac. (76.77 X 15%)
PROVIDED: 17.30 Ac.

STREETS TO BE PRIVATE
MINIMUM DETACHED BUILDING SETBACKS
FRONT (TO BLDGS. UNDER A/C) 10 FT.
FRONT (TO FRONT GARAGE) 20 FT.
REAR 15 FT.
SIDE (STREET) 10 FT.
SIDE 5 FT.
POOL/ACCESSORY STRUCTURE 5 FT.
MAXIMUM BUILDING HEIGHT 3 STORIES
MINIMUM LOT WIDTH 40 FT.
MINIMUM LOT AREA 4000 SQ. FT.

OPEN SPACE CALCULATIONS
REQUIRED (20% OF DEVELOPABLE PSP AREA): 15.35 Ac. (76.77 X 20%)
PROVIDED:
TRACTS OS-18 TO OS-28, OS-38, PORTION OF FD-1 11.23 Ac.
STORMWATER (MAX. 50% OF O.S. REQ.) 7.68 Ac.
PRESERVED WETLANDS (MAX. 50% OF O.S. REQ.) (WB-2) 2.96 Ac.
TOTAL PROVIDED 21.87 Ac.
SURPLUS OPEN SPACE (1) 6.52 Ac.

RECREATION CALCULATIONS
REQUIRED: 1 AC/50 LOTS 3.80 Ac. (190/50)
PROVIDED ON SITE (SHADED): 3.77 Ac.
ACTIVE/TRAILS/PARKS (TRACTS OS-20, OS-23, OS-27 & OS-28; PORTIONS OF OS-18 & SW-9) 0.63 Ac.
PROVIDED SURPLUS FROM PHASE 1 (3): 19.53 Ac.

REMAINING SURPLUS ACTIVE RECREATION (2,3) 19.53 Ac.
(1) SURPLUS OPEN SPACE NOT UTILIZED IN THIS PHASE MAY BE UTILIZED IN FUTURE PHASES AS FULFILLING THE OPEN SPACE REQUIREMENTS.
(2) SURPLUS ACTIVE RECREATION NOT UTILIZED IN THIS PHASE MAY BE UTILIZED IN FUTURE PHASES AS FULFILLING THE ACTIVE RECREATION REQUIREMENTS.
(3) 2016 AC OF SURPLUS ACTIVE RECREATION FROM PHASE 1 IS AVAILABLE FOR USE. PHASE 2A & 2B IS UTILIZING 0.63 AC FROM THIS PH1 SURPLUS.

NOTE: PER LDC CHAPTER 4, ARTICLE 47JIA, ALL STREETS OR VEHICULAR TRAVELWAYS WITHIN THE UGB SHALL BE LIGHTED AT NIGHT WITH LIGHTS PROVIDING A MINIMUM AVERAGE ILLUMINATION OF 0.2 FOOT CANDLES. STREET LIGHTS SHALL PRESERVE THE AMBIANCE OF THE NIGHT AND RESPECT THE PRIVACY OF NEIGHBORING PROPERTIES BY APPLYING PEDESTRIAN-SCALED FIXTURES. LIGHT POLES SHALL BE NO HIGHER THAN 18 FT WITHIN THE UGB. STREET LIGHTING SHALL BE PERMITTED AND INSTALLED PRIOR TO CERTIFICATION OF COMPLETION.



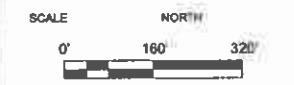
Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5111
FAX: 407.843.5111

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



Danielle M. Van de Loo
This item has been electronically signed and sealed by Danielle M. Van de Loo, PE using a digital signature. Printout copies of this document are not considered valid and sealed and the signature must be verified on any electronic copies.
2017-12-12 13:10:33 -05'00'



| REV. | DATE | BY | DESCRIPTION |
|------|----------|-----|-----------------------------|
| 8 | 12-12-17 | DMV | REV PER COMMENT |
| 7 | 10-27-17 | TFS | REV PER CLIENT |
| 6 | 10-18-17 | TFS | REV PER MASS GRADING LIMITS |
| 1 | 9-22-16 | TFS | REV PER COMMENTS |

REVISIONS
DRAWN BY TFS
APPROVED BY DMV
CHECKED BY DMV
DATE AUGUST 2016
DATUM NAVD 88

PHASE 2A & 2B
SITE PLAN

PROJECT NO. 16-0088 PS 15-00025 ZMA 13-0045

C12

SHEET NO.
SDP 16-0088 PS 15-00025 ZMA 13-0045

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

LOT MIX
PHASE 2A: 70' WIDE LOTS - 76
PHASE 2B: 50' WIDE LOTS - 114
TOTAL LOTS - 190
LF OF PRIVATE ROADWAY - 9,523 LF

TRAFFIC TRIPS GENERATED
BASED ON 9TH EDITION OF
ITE TRIP GENERATION
REPORT:
DAILY - 3731
PEAK - 358

DETENTION POND 15
(TRACT SW-15)

PROPERTY BOUNDARY (TYP)

PHASE LINE (TYP)

NOLTE ROAD

EX. PHASE 1
(SDP 15-0060)

EX. PHASE 1
(SDP 15-0060)

FUTURE
PHASE 2

DETENTION POND 10
(TRACT SW-10)

DETENTION POND 14
(TRACT SW-14)

10' R/W DEDICATION

WETLAND (CATEGORY 31)
(TRACT WB-2)

TRACT SW-9

TRACT SW-10

TRACT SW-11

TRACT SW-12

TRACT SW-13

TRACT SW-14

TRACT SW-15

TRACT SW-16

TRACT SW-17

TRACT SW-18

TRACT SW-19

TRACT SW-20

TRACT SW-21

TRACT SW-22

TRACT SW-23

TRACT SW-24

TRACT SW-25

TRACT SW-26

TRACT SW-27

TRACT SW-28

TRACT SW-29

TRACT SW-30

TRACT SW-31

TRACT SW-32

TRACT SW-33

TRACT SW-34

TRACT SW-35

TRACT SW-36

TRACT SW-37

TRACT SW-38

TRACT SW-39

TRACT SW-40

TRACT SW-41

TRACT SW-42

TRACT SW-43

TRACT SW-44

TRACT SW-45

TRACT SW-46

TRACT SW-47

TRACT SW-48

TRACT SW-49

TRACT SW-50

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TRACT SW-61

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TRACT SW-68

TRACT SW-69

TRACT SW-70

TRACT SW-71

TRACT SW-72

TRACT SW-73

TRACT SW-74

TRACT SW-75

TRACT SW-76

TRACT SW-77

TRACT SW-78

TRACT SW-79

TRACT SW-80

TRACT SW-81

TRACT SW-82

TRACT SW-83

TRACT SW-84

TRACT SW-85

TRACT SW-86

TRACT SW-87

TRACT SW-88

TRACT SW-89

TRACT SW-90

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TRACT SW-93

TRACT SW-94

TRACT SW-95

TRACT SW-96

TRACT SW-97

TRACT SW-98

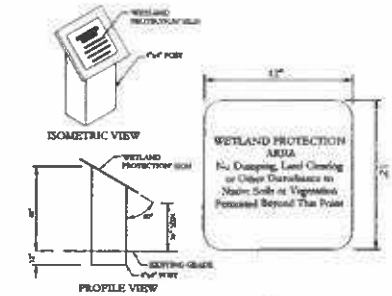
TRACT SW-99

TRACT SW-100

THIS APPROVAL IS SUBJECT TO THE OSEOLA COUNTY BOARD OF COUNTY COMMISSIONERS REVIEWING AND APPROVING THE PROJECT. THE BOARD OF COUNTY COMMISSIONERS SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH THE OSEOLA COUNTY ZONING ORDINANCE. THE BOARD OF COUNTY COMMISSIONERS SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH THE OSEOLA COUNTY ZONING ORDINANCE. THE BOARD OF COUNTY COMMISSIONERS SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH THE OSEOLA COUNTY ZONING ORDINANCE.

NOT VALID WITHOUT THE SIGNATURE OF THE ENGINEER

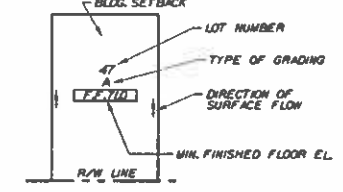
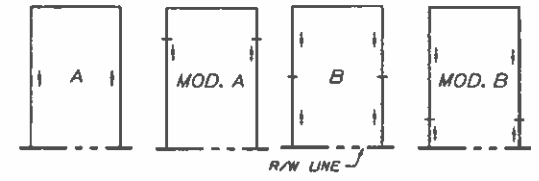
TYPICAL ROADWAY SECTION
(SEE SHEET No. C61
FOR SECTIONS)



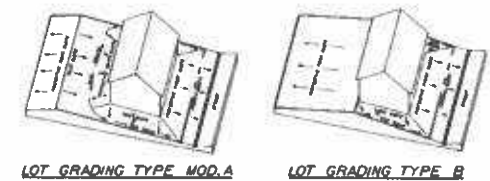
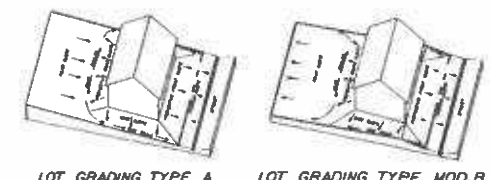
TYPICAL WETLAND PROTECTION SIGN
NOTE:
TO BE POSTED ON 50 FOOT CENTERS IN COMMON AREAS ON THE LANDWARD EDGE OF THE BUFFER (NOT IN THE BUFFER) ON EVERY OTHER INDIVIDUAL LOT LINE FOR RESIDENTIAL PROPERTIES ADJACENT, AND AROUND PROPOSED WETLAND BUFFER EDGE.

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C11 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 6. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C23-C24 & C32-C49.
 9. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT, IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 13. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.
 14. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS, SEE DETAIL.
 15. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

- MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
70' LOTS - 5800 SF
AREA INCLUDES WALKWAYS AND DRIVEWAYS



TYPICAL LOT LAYOUT



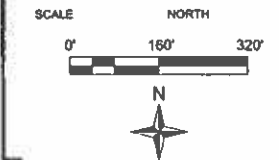
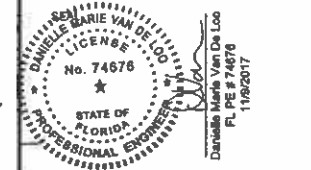
TYPICAL FHA GRADING

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | Description |
|------------------|----------|-----|------------------|
| 7 | 10-27-17 | TFS | REV PER CLIENT |
| 2 | 11-9-18 | TFS | REV PER COMMENTS |
| 1 | 9-22-18 | TFS | REV PER COMMENTS |
| REVISIONS | | | |
| DRAWN BY TFS | | | |
| APPROVED BY DMV | | | |
| CHECKED BY DMV | | | |
| DATE AUGUST 2018 | | | |
| DATUM NAVD 88 | | | |

OVERALL
GRADING PLAN
KEY MAP

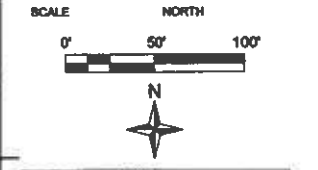
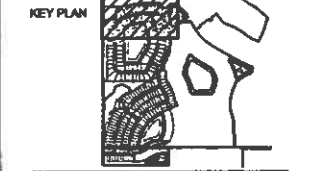
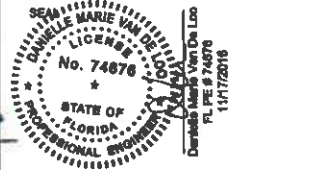
PROJECT NO. JABRNT-1VFinalPhase 2

C18

THIS APPROVAL IS SUBJECT TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE FACILITY AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FACILITY FROM DAMAGE BY OTHERS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FACILITY FROM DAMAGE BY OTHERS. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FACILITY FROM DAMAGE BY OTHERS.

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | Description |
|-----|----------|-----|----------------|
| 1 | 12/14/16 | TFB | Initial Design |
| 2 | 01/11/17 | DMV | Revised Design |
| 3 | 08/01/16 | DMV | Final Design |
| 4 | 08/01/16 | DMV | Final Design |

| REVISIONS |
|-----------------|
| DRAWN BY TFB |
| APPROVED BY DMV |
| CHECKED BY DMV |
| DATE 08/01/16 |
| DATUM 08/01/16 |

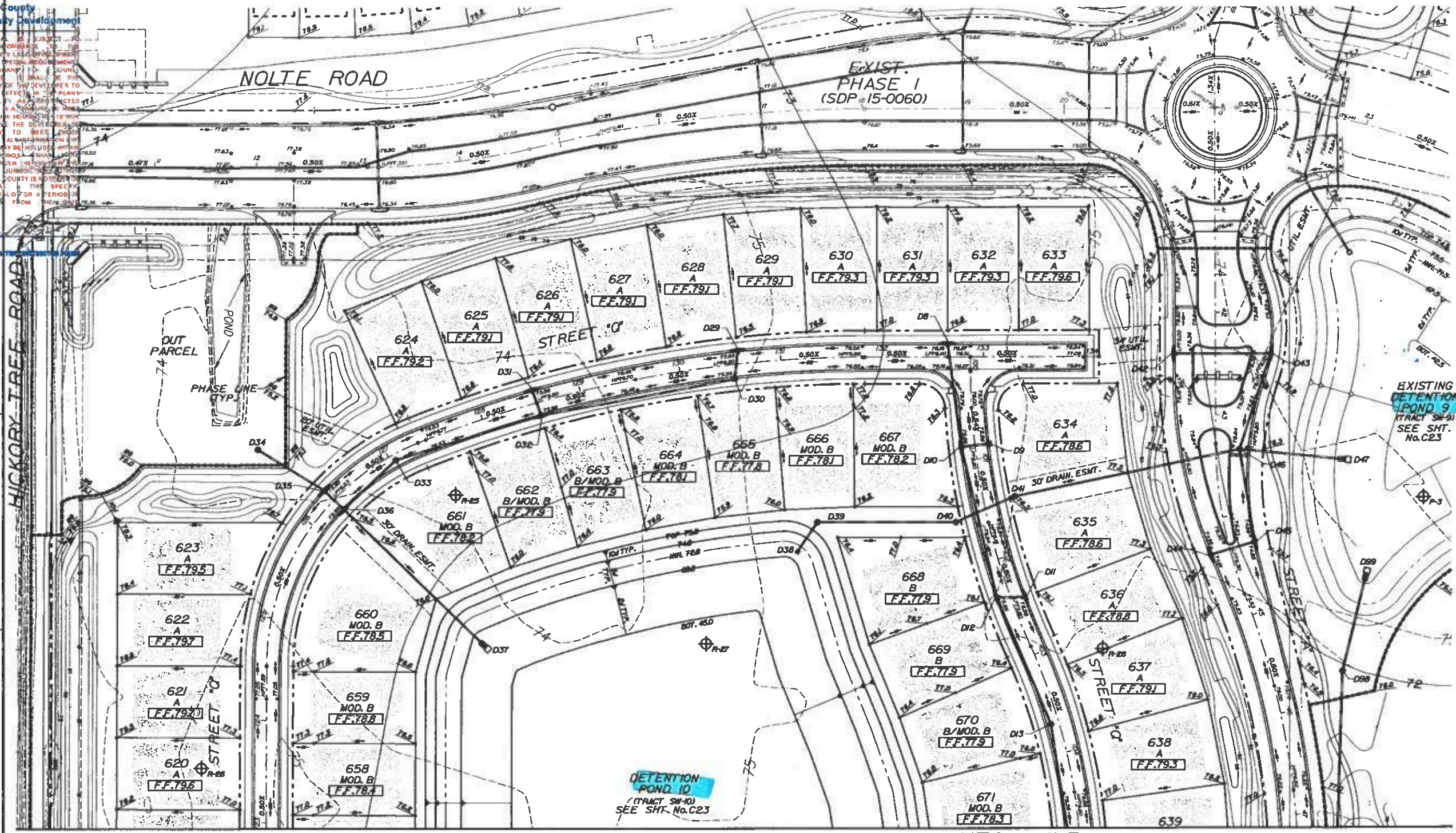
TITLE

LOT & BLOCK
GRADING PLAN

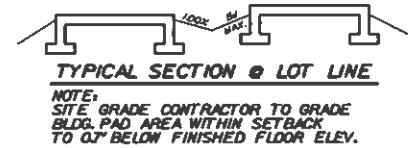
PROJECT NO. JAB041-1/Phase 2

C19

SHEET NO.

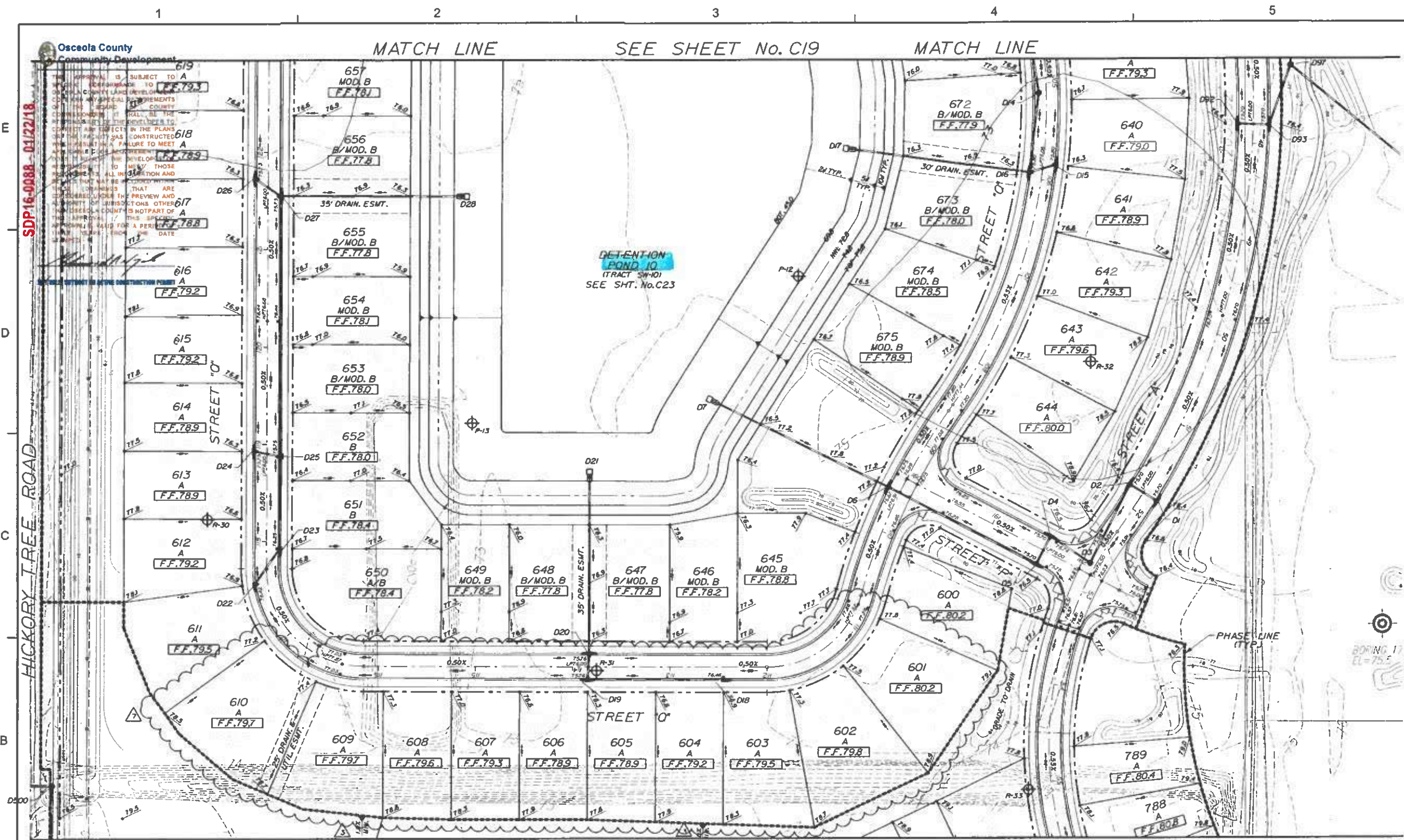


| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | 75 | 75 |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | 75.15 | 75.15 |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | 74 |
| SOILS BORING | | |
| WETLAND LINE | | |
| WETLAND BUFFER LINE | | |



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

- NOTES:
- SEE SHEET No. C18 FOR TYPICAL FHA GRADING DETAILS.
 - ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 1' ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS S.D.P. IS BEING REQUESTED.
 - MOD. B & C GRADED LOTS ARE AT A MINIMUM 1' ABOVE THE CROWN OF THE ROADWAY.
 - ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LOC ARTICLE 4.51.
 - STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION 600.001, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 - FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C18.
 - A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 - DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 - NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 - FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C23-C24 & C32-C48.
 - STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/ON EDGE OF PAVEMENT SHALL BE SODDED.
 - ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 - SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 - SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 - REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.
 - CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS (SEE DETAIL SHEET No. C18).
 - CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.
 - ENTRANCE OF STREET "A" PWT. TO BE GRADED USING SPOTS. C/L PROFILE FOR GUIDE ONLY.



LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |
| SOILS BORING | | |
| WETLAND LINE | | |
| WETLAND BUFFER LINE | | |

TYPICAL SECTION @ LOT LINE

NOTE: SITE GRADE CONTRACTOR TO GRADE BLDG. PAD AREA WITHIN SETBACK TO 0.7' BELOW FINISHED FLOOR ELEV.

NOTES:

- SEE SHEET No. C18 FOR TYPICAL FMA GRADING DETAILS.
- ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
- MOD. B & B GRADED LOTS ARE AT A MINIMUM 18" ABOVE THE CROWN OF THE ROADWAY.
- ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LOC ARTICLE 4.5J.
- STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
- SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C17 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
- FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C61.
- A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
- DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
- NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
- FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C23-C24 & C32-C49.
- STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
- ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
- SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
- REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.
- CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS (SEE DETAIL SHEET No. C18).
- CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SITUATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32801
PHONE: 407.343.5131
ENGINEERING BUSINESS - 4794

**TWIN LAKES
PHASES 2A & 2B**

OSCEOLA COUNTY, FLORIDA

SEAL
DANIELLE MARIE VAN DE LIND
LICENSE
No. 74678
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
Dewberry Engineers Inc.
FL P.E. # 74678
11/9/2017

KEY PLAN

SCALE

0' 50' 100'

NORTH

| No. | DATE | BY | Description |
|-----|----------|-----|----------------|
| 7 | 10-27-17 | TFS | REV PER CLIENT |
| 3 | 6-2-17 | TFS | REV PER CLIENT |

REVISIONS

DRAWN BY: TFS
APPROVED BY: DMV
CHECKED BY: DMV
DATE: AUGUST 2016
DATUM: NAVD 86

**LOT & BLOCK
GRADING PLAN**

PROJECT NO. J18QV1-1FinalPhase 2

C20

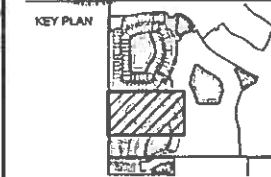
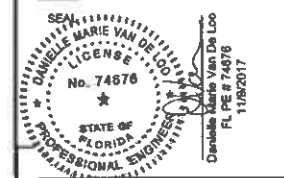
SHEET NO.

SDP 16-0088 PS 15-00025 ZMA 13-0045



**TWIN LAKES
PHASES 2A & 2B**

OSCEOLA COUNTY, FLORIDA

[illegible]

| | | | |
|-----|--------|-----|----------------|
| 3 | 8-2-17 | TFS | REV PER CLIENT |
| No. | DATE | BY | Description |

REVISIONS

| | |
|-------------|-------------|
| DRAWN BY | TFS |
| APPROVED BY | DMV |
| CHECKED BY | DMV |
| DATE | AUGUST 2016 |
| DATUM | NAVD 88 |

05
TITLE

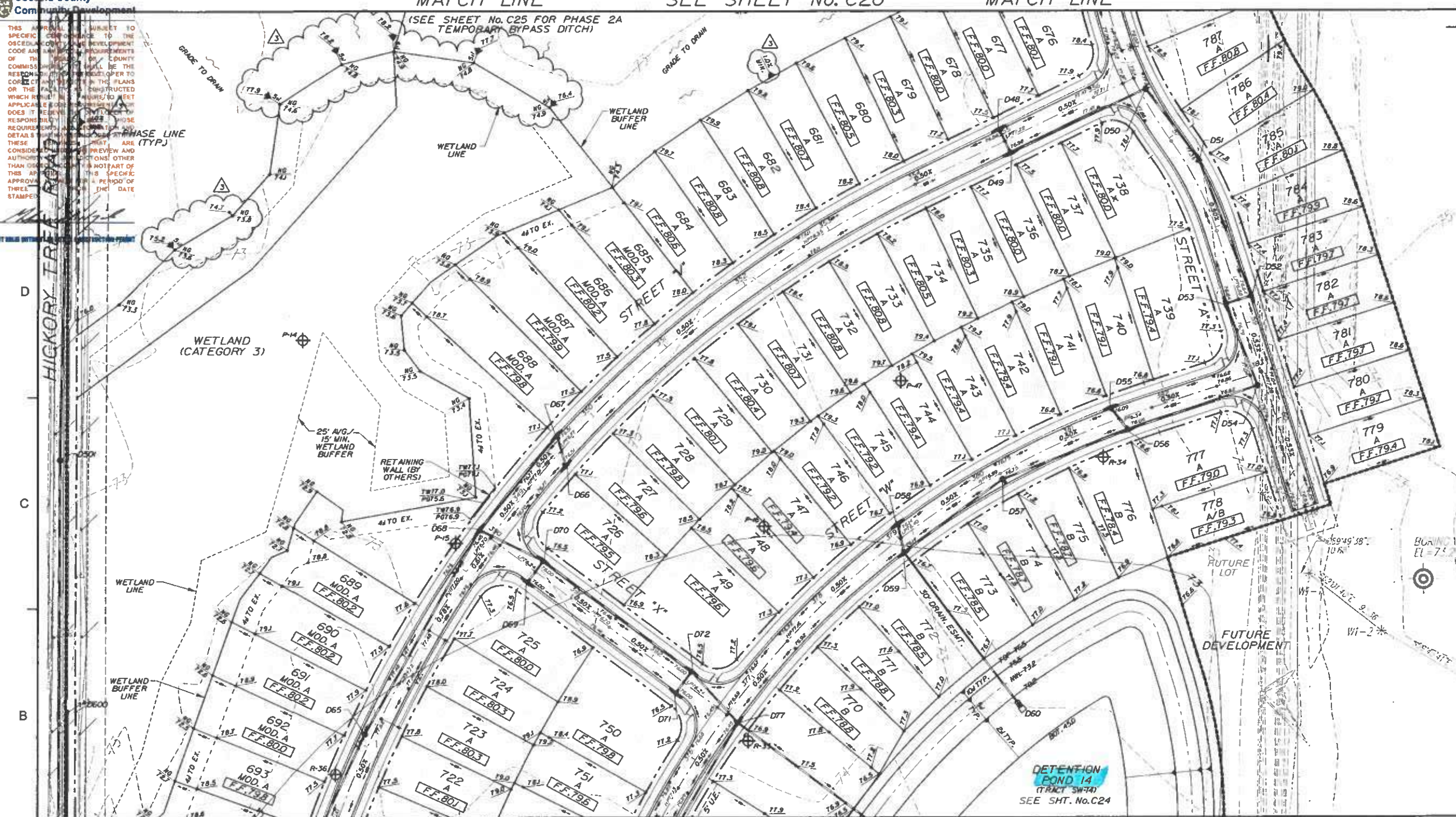
2\BKNT15-42

LOT & BLOCK
GRADING PLAN





PROJECT NO. J-810NT-1VFinalPhase 2

C21

129.1 SHEET NO. SDP 16-0088 PS 16-00025 ZMA 13-0



MATCH LINE

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|---|---|
| STORM SEWER SYSTEM |  |  |
| CONTOUR | 75 | 75 |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | 87.12 | 87.12 |
| LOT GRADING | 78.1 | 78.1 |
| DIRECTION OF SURFACE FLOW | |  |
| PROPOSED SHWT CONTOURS | | 74 |
| SOILS BORING | |  |
| WETLAND LINE | ----- | ----- |
| WETLAND BUFFER LINE | ----- | ----- |



TYPICAL SECTION @ LOT LINE

NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.7' BELOW FINISHED FLOOR ELEV.

1. SEE SHEET NO. C18 FOR TYPICAL FHWA GRADING DETAILS.
2. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
3. WADSWORTH GRADE SHALL BE AT A MINIMUM 18" ABOVE THE CROWN OF THE ROADWAY.
4. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LOC ARTICLE 4.51.
5. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH "DOT STD. SPEC. INDEX 200, ECH, ECH, 232."
6. SOME OF THE HIGH GROUNDWATER CONCENTRATIONS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C19 FOR LIST OF REPORTS FOR THE MOST DEVELOPED CONDITION.
7. FOR TYPICAL ROADWAY SECTIONS SEE SHEET NO. C61.
8. ALL UTILITY DRAINAGE ACCESS TO SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
9. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
10. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
11. FOR CIRCULATORY LOCATION OF ALL STUDY AREA STRUCTURES, INCLUDING TOP ELEVATIONS, SEE SHEET NO. C23-C24 & C32-C49.

12. STRIP SOIL OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODED.
13. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
14. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
15. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. 108.
16. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.
17. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS (SEE DETAIL SHEET NO. C18).
18. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE. SURROUNDING AREAS, PRESERVED WETLANDS, AND CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

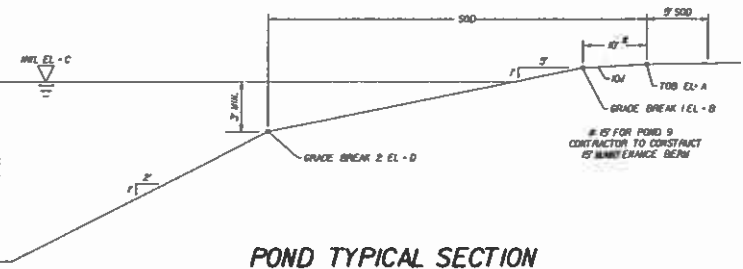
NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP16-0088 - 1211416



THIS APPROVAL IS SUBJECT TO SPECIFIC PERFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT AND REPAIR IN THE PLANS OR THE FACILITY AS CONSTRUCTION WHICH RESULT A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS NOR DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED WITH THESE DRAWINGS THAT CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

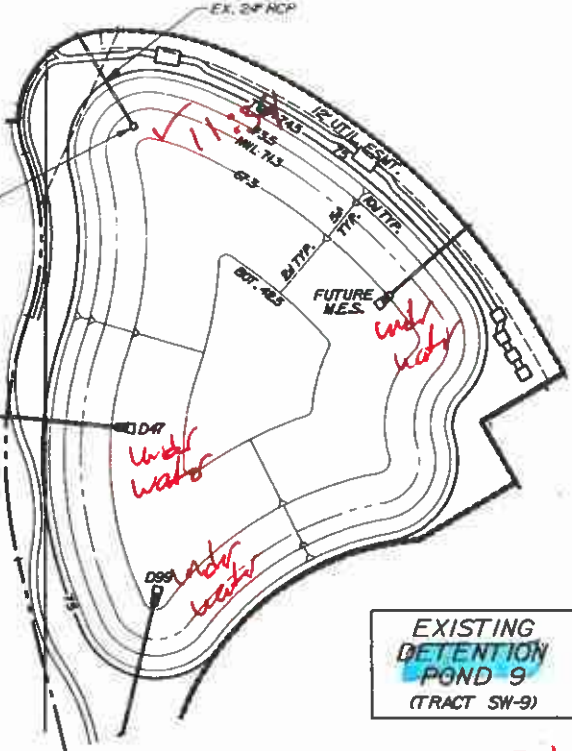
NOT VALID WITHOUT AN APPROVED CONSTRUCTION PERMIT



POND ELEVATIONS

| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (MWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
|-------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| EX. POND 9 | 75.0 | 73.5 | 71.3 | 67.3 | 42.5 |
| POND 10 | 75.5 | 74.8 | 72.8 | 68.8 | 45.0 |

CS400
EX. OUTFALL CONTROL STRUC.
(SEE DETAIL)



SECTION A

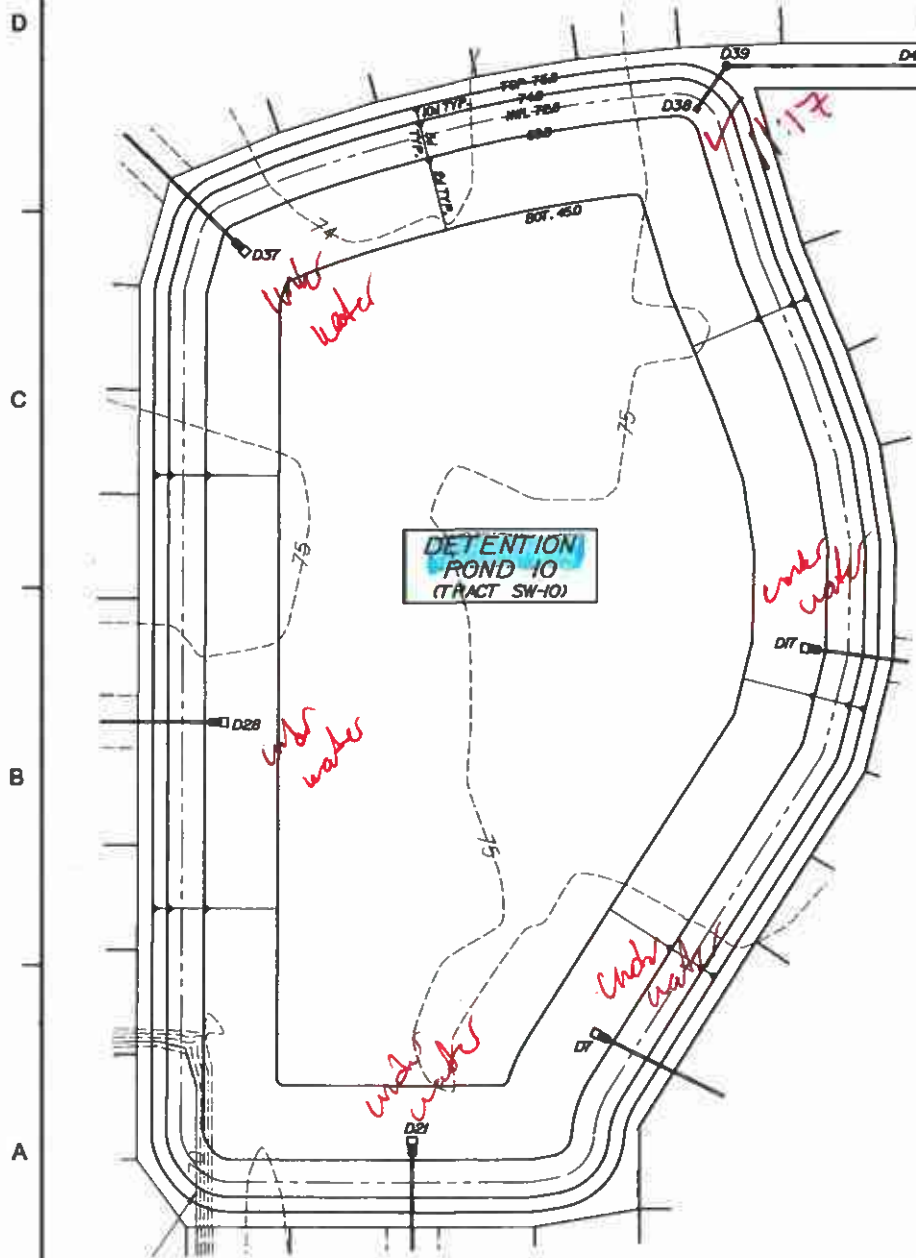
SECTION B

PLAN VIEW

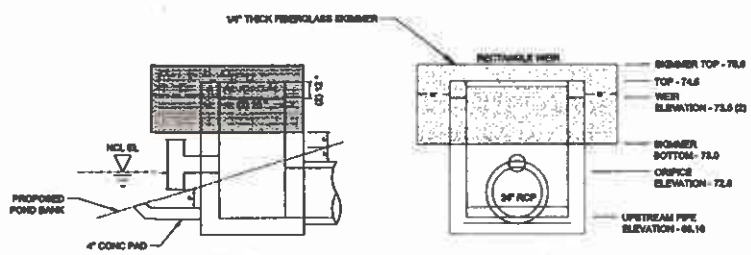
ORIFICE DETAIL

EX. OUTFALL CONTROL STRUCTURE (CS400)

TYPE 10\"/>



| POND NUMBER | POND DESIGN STAGES | | | |
|-------------|--------------------|------------------|-------------------|-------------------|
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| EX. POND 9 | 73.30 | 73.80 | 74.80 | 75.08 |
| POND 10 | 74.08 | 74.48 | 75.45 | 75.75 |



SECTION A

SECTION B

PLAN VIEW

ORIFICE DETAIL

OUTFALL CONTROL STRUCTURE (D38)

TYPE 10\"/>

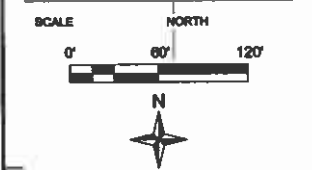
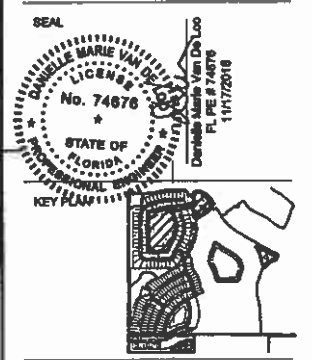
- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18\"/>
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.51.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX, 200, 201, 202, 203 AND 232.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C11 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C61.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C38-C48.
 10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODED.
 11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 600
ORLANDO, FL 32803
PHONE: 407.843.5129
ENGINEERING BUSINESS - 87M

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|------------------|
| 2 | 11-9-18 | TPB | REV PER COMMENTS |

DRAWN BY: TPB
APPROVED BY: DMV
CHECKED BY: DMV
DATE: AUGUST 2018
DUTY: NAVD 88

TITLE

DETENTION POND 9 & 10

PROJECT NO. J18011T-1/Final/Phase 2

SHEET NO.

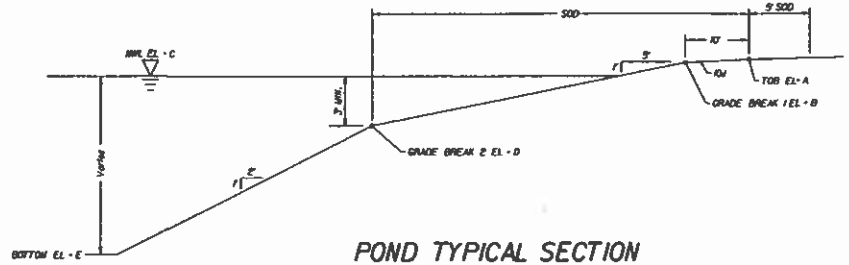
C23

SDP 16-0088 PS 15-00025 ZMA 13-0045

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

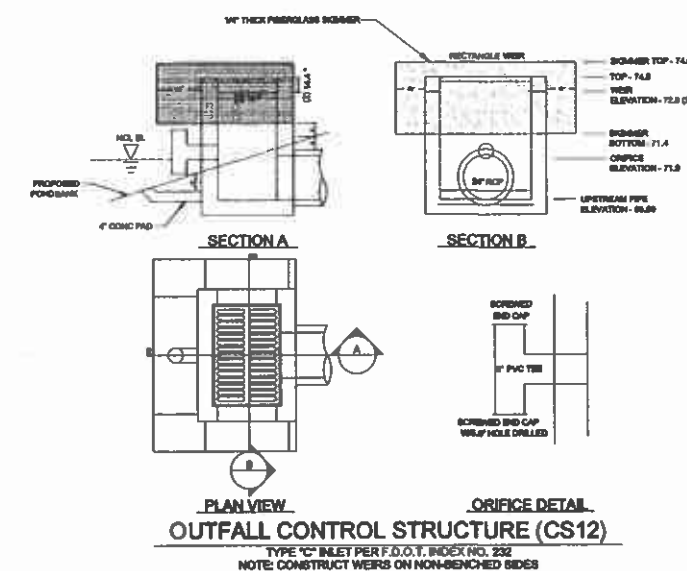
THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY LOCAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO CORRECT THE PLANS OR THE FACILITY CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. THE APPLICANT DOES IT RELY ON THE REVIEW OF RESPONSIBILITY TO MEET THE REQUIREMENTS AND DETAILS THAT MAY BE INCLUDED WITHIN THESE DRAWINGS. THERE ARE CONSIDERED UNDER THE JURISDICTION OF THE BOARD OF COUNTY COMMISSIONERS. OTHER THAN OSCEOLA COUNTY IS PART OF THIS APPROVAL. THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF STAMPING.

NOT VALID WITHOUT AN ACTIVE CONSTRUCTION PERMIT



| POND ELEVATIONS | | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
| POND 12 | 75.8 | 74.8 | 71.9 | 68.9 | 45.0 |
| POND 13 | 74.0 | 73.0 | 70.0 | 67.0 | 47.0 |

| POND DESIGN STAGES | | | | |
|--------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 12 | 73.88 | 74.19 | 75.53 | 75.83 |
| POND 13 | 71.84 | 72.17 | 72.84 | 72.88 |

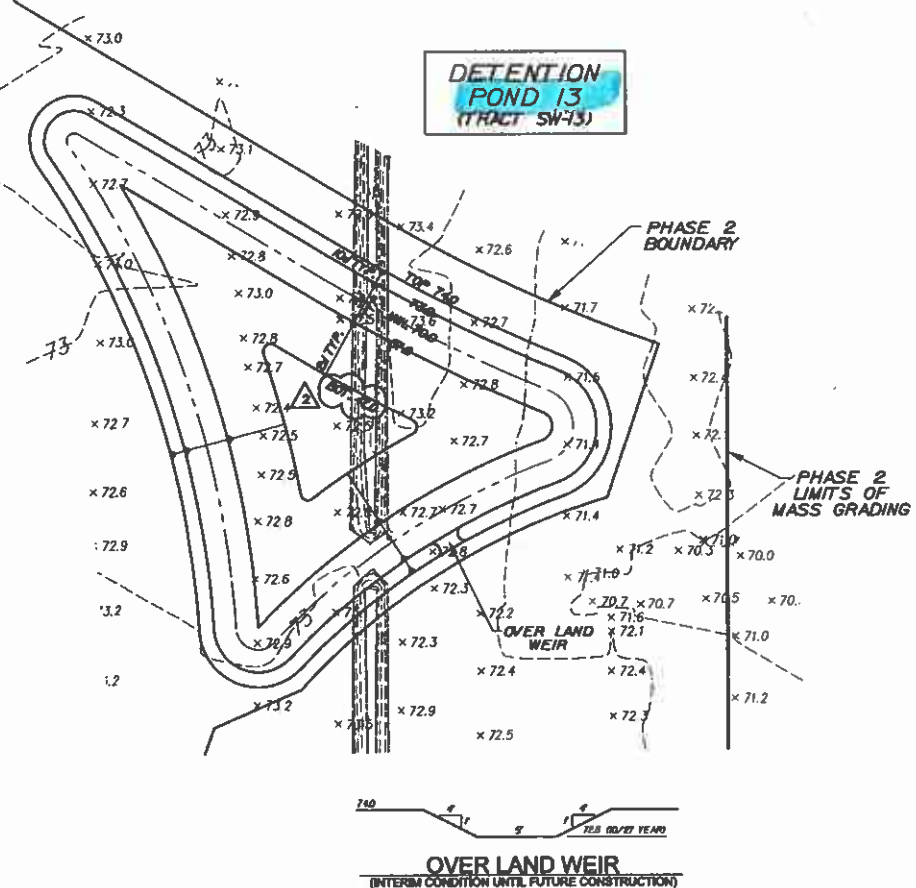
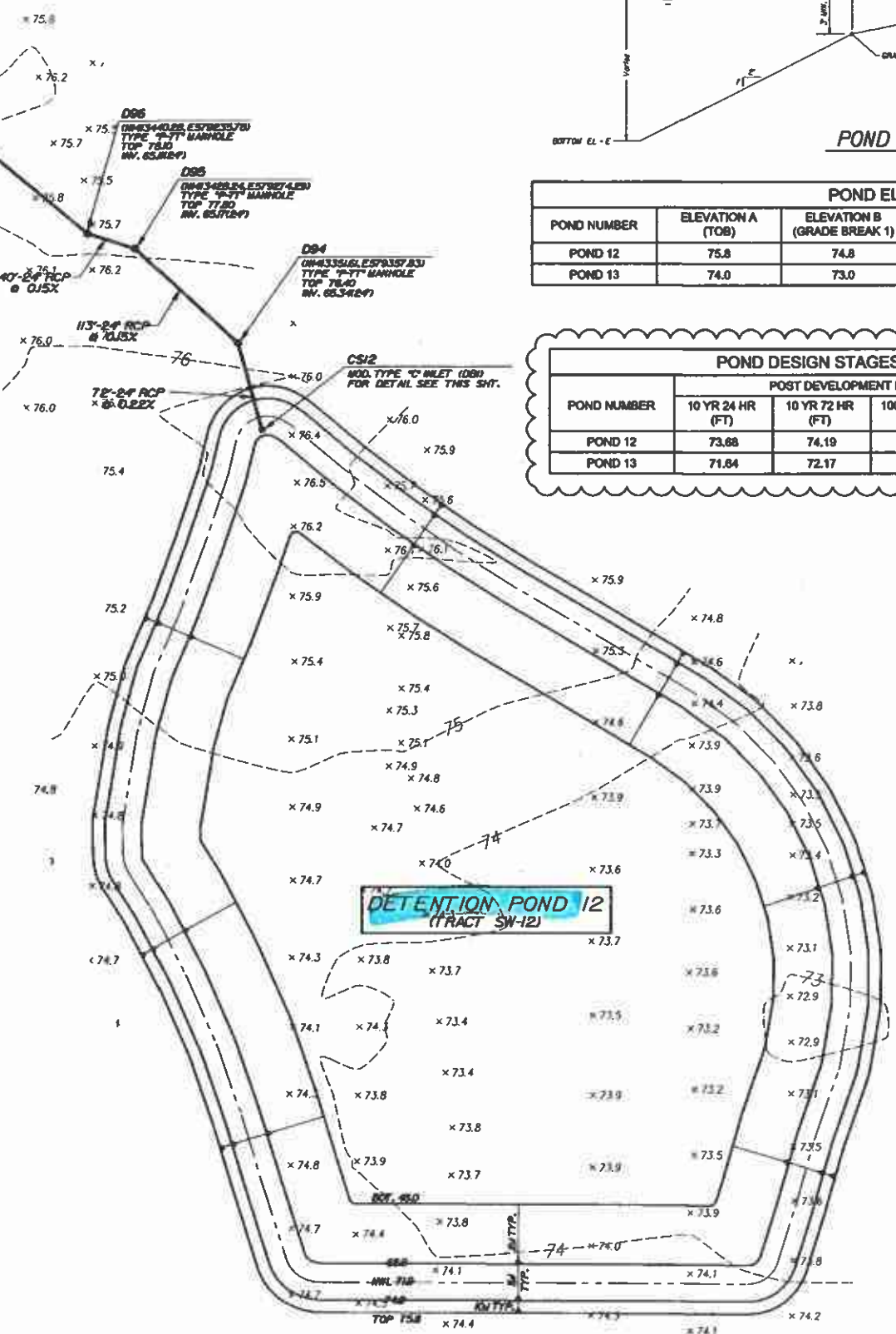


D

C

B

A



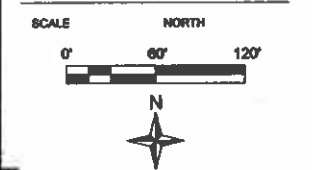
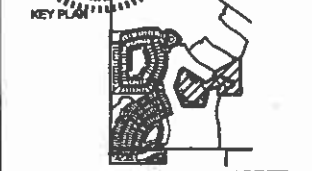
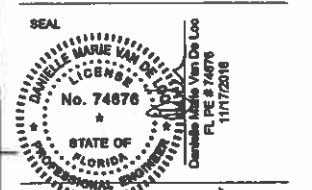
- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18\"/>

7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET No. C3B-C4B.
10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 300
ORLANDO, FL 32803
PHONE: 407.843.6120
ENGINEERING BUSINESS 4094

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|------------------|
| 2 | 11-8-16 | TPB | REV PER COMMENTS |

REVISIONS

DRAWN BY: TPB
APPROVED BY: DMV
CHECKED BY: DMV
DATE: AUGUST 2016
DUTY: NAVD 88

TITLE

DETENTION
PONDS 12 & 13

PROJECT NO. J:\B001\T1\Final\Phase 2

C23A

SHEET NO.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP16-0088 - 12/14/16

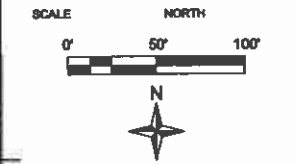
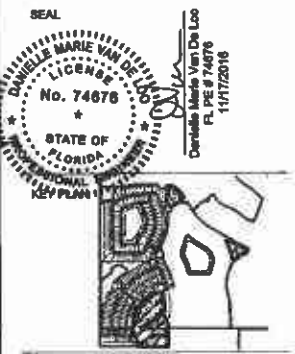
THIS APPROVAL IS SUBJECT TO SPECIFIC COMPLIANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. THE DEVELOPER SHALL BE RESPONSIBLE TO MEET THE REQUIREMENTS OF THE PLANS AND DETAILS THAT ARE INCLUDED WITHIN THESE DRAWINGS THAT ARE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT VALID WITHOUT AN ACTIVE CONSTRUCTION PERMIT

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 300
ORLANDO, FL 32803
PHONE: 407.343.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|------------------|
| 2 | 11-4-16 | TFB | REV PER COMMENTS |

DRAWN BY: JFS
APPROVED BY: DMV
CHECKED BY: DMV
DATE: AUGUST 2016
DUTY: NAVD 88

TITLE

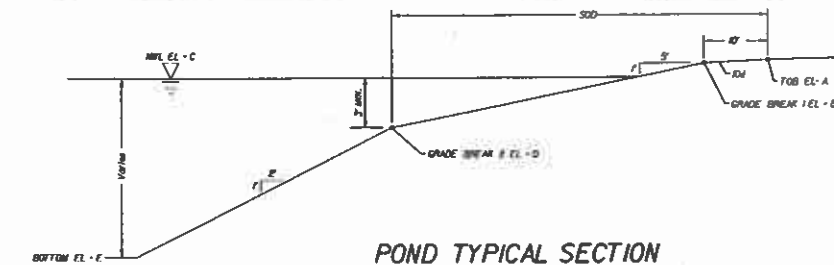
DETENTION
POND 14 & 15

PROJECT NO. 160101-1/Phase 2

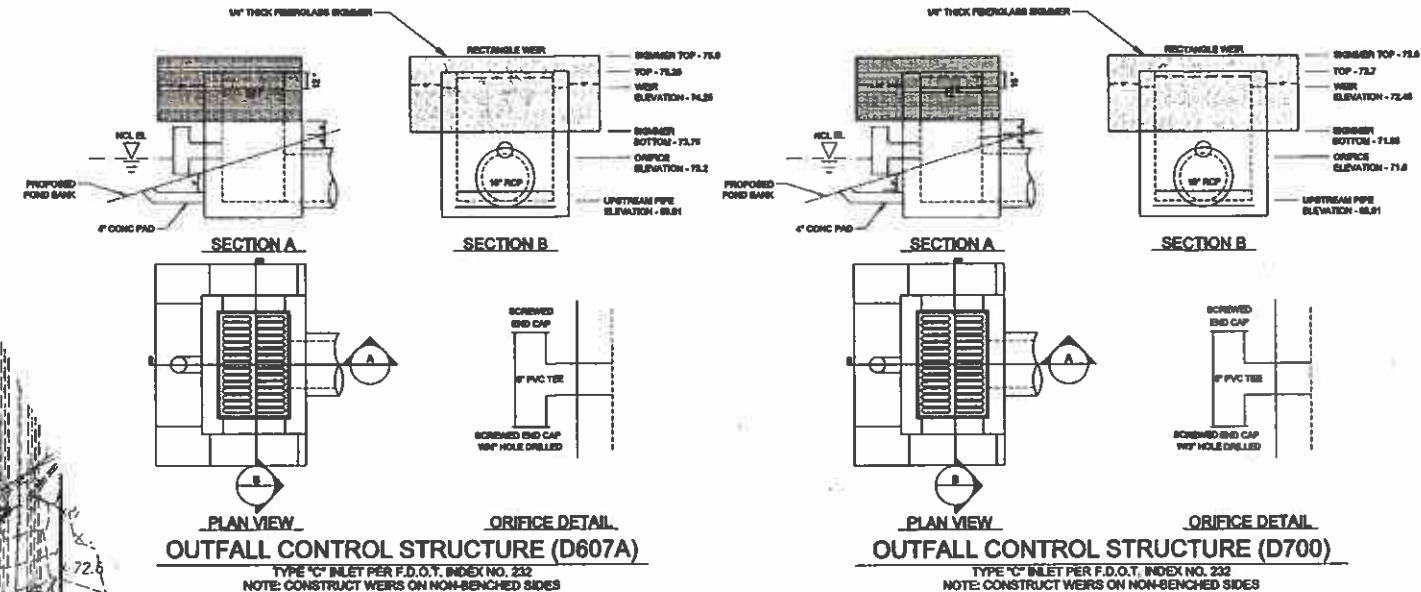
C24

SHEET NO.

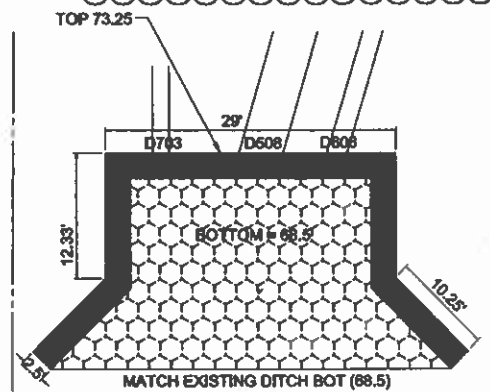
SOP 16-0088 PS 15-00025 ZMA 13-0045



| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
|-------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND 14 | 76.5 | 76.5 | 73.2 | 70.2 | 48.0 |
| POND 15 | 74.5 | 73.5 | 71.0 | 68.0 | 50.0 |



| POND NUMBER | POND DESIGN STAGES | | | |
|-------------|------------------------------|------------------|-------------------|-------------------|
| | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 14 | 74.99 | 76.43 | 76.32 | 76.68 |
| POND 15 | 72.91 | 73.28 | 74.08 | 74.35 |



24" DEEP, 4" TO 6" ROCK RUBBLE W/ FILTER FABRIC

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.51.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX, 800, 801, 810, 811 AND 832.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C11 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C61.
 6. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 7. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 8. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 9. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C38-C45.
 10. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT IN AREAS WITH A SIDEWALK. THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 11. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 12. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

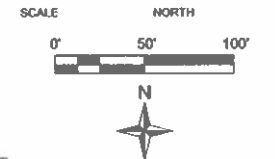
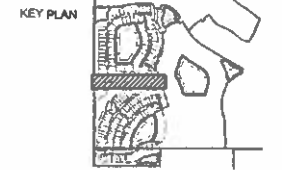
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SDP16-0088 - 01/22/18

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5119
ENGINEERING BUSINESS 40794

TWIN LAKES
PHASES 2A & 2B

OSCEOLA COUNTY, FLORIDA



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| 7 | 10-27-17 | TFS | REV PER CLIENT |
| 1 | 9-22-16 | TFS | REV PER COMMENTS |

| No. | DATE | BY | Description |
|-----|------|----|-------------|
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TITLE

PHASE 2A
TEMPORARY
BYPASS DITCH

PROJECT NO. J:\B101\1\FinalPhase 2

C25

SHEET NO.

SDP 16-0088 PS 15-00025 ZMA 13-0045

TIE TO EXISTING
SWALE BOTTOM
EL. 69.4

PHASE 2A LOTS

610

609

608

607

606

605

604

603

602

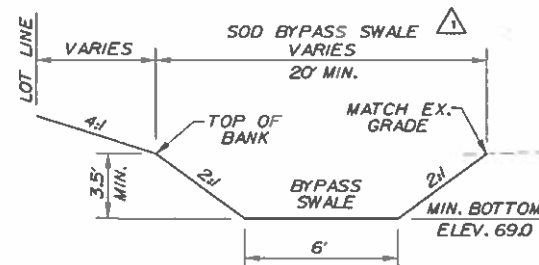
C/L TEMP. DITCH

25' AVG. 15' MIN.
WETLAND BUFFER

WETLAND
(CATEGORY 3)

TIE TO EXISTING
SWALE BOTTOM
EL. 69.2

NOTE: BYPASS SWALE TO BE CONSTRUCTED DURING
MASS GRADING IN ACCORDANCE W/MASS GRADING
PLANS.



SECTION "X"-X"

LOTS 600-610
REALIGNED

- NOTES:
1. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS, (SEE DETAIL SHEET No. C08).
 2. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.
 3. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP16-0123 - 12/14/16

Drawing Index

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITIES CONSTRUCTION WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THE REQUIREMENTS ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED WITH THESE DRAWINGS. THAT CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

- COVER SHEET
- OVERALL BOUNDARY LEGAL
- OVERALL BOUNDARY SURVEY
- GENERAL NOTES
- EXISTING CONDITIONS PLAN
- OMITTED
- BOUNDARY SURVEY
- EROSION CONTROL PLANS
- OVERALL TWIN LAKES SITE PLAN
- PHASE 2C SITE PLAN
- GEOMETRY PLANS
- GEOMETRY DATA
- OVERALL GRADING PLAN KEY MAP
- LOT & BLOCK GRADING PLANS
- OMITTED
- UTILITY PLANS
- SAMPLE POINTS LOCATION PLANS
- PLAN & PROFILE KEY MAP
- PLAN & PROFILES
- OFFSITE SANITARY & FORCE MAIN
- SIGNAGE & STRIPING PLANS
- LIFT STATION 104A SITE PLAN
- CITY OF ST. CLOUD LIFT STATION DETAILS
- CITY OF ST. CLOUD DETAILS
- PAVING & DRAINAGE DETAILS
- IRRIGATION DETAIL

Landscape

- L1.10-L1.12 LAYOUT PLAN
- L2.10-L2.13 LANDSCAPE PLAN
- L2.20 NOTES, LEGEND & DETAILS

Irrigation

- IR1-IR10 IRRIGATION PLAN
- IR11-IR12 IRRIGATION DETAILS
- IR13 IRRIGATION NOTES

LEGAL DESCRIPTION:

PHASE 2
A PORTION OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 31 EAST, TOGETHER WITH A PORTION OF LOTS 7 AND 8 AND THAT PLATTED UNNAMED RIGHT OF WAY LYING NORTHERLY THEREOF, THE SEMINOLE LAND AND INVESTMENT COMPANY'S (INCORPORATED) SUBDIVISION OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 31 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 26, OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 17, THENCE RUN S89°38'45"E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD (VARIABLE RIGHT OF WAY WIDTH) PER OFFICIAL RECORDS BOOK 3953, PAGE 1367, PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; THENCE RUN ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES: THENCE S 00°13'55" W, A DISTANCE OF 68.79 FEET; THENCE S 89°58'48" W, A DISTANCE OF 10.00 FEET; THENCE S 00°13'55" W, A DISTANCE OF 290.20 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE RUN S 89°46'05" E, A DISTANCE OF 30.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 32.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 31°45'25", A CHORD BEARING OF N 74°21'02" E AND A CHORD DISTANCE OF 20.79 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 21.06 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 71.00 FEET, A CENTRAL ANGLE OF 55°32'04", A CHORD BEARING OF N 62°27'43" E AND A CHORD DISTANCE OF 66.16 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 68.82 FEET TO THE END OF SAID CURVE; THENCE S 89°45'55" E, A DISTANCE OF 141.46 FEET; THENCE N 00°13'55" E, A DISTANCE OF 141.77 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 71.00 FEET, A CENTRAL ANGLE OF 55°59'32", A CHORD BEARING OF N 28°06'40" E AND A CHORD DISTANCE OF 66.66 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 69.38 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 41°08'22", A CHORD BEARING OF N 20°41'15" E AND A CHORD DISTANCE OF 26.70 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 27.28 FEET TO THE END OF SAID CURVE; THENCE S 89°46'05" E, A DISTANCE OF 28.63 FEET; THENCE N 00°13'55" E, A DISTANCE OF 9.50 FEET; THENCE S 89°46'05" E, A DISTANCE OF 5.63 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 743.00 FEET, A CENTRAL ANGLE OF 13°33'58", A CHORD BEARING OF N 83°26'56" E AND A CHORD DISTANCE OF 175.51 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 175.92 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 1385.00 FEET, A CENTRAL ANGLE OF 13°20'03", A CHORD BEARING OF N 83°19'59" E AND A CHORD DISTANCE OF 321.60 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 322.32 FEET TO A POINT OF TANGENCY; THENCE N 90°00'00" E, A DISTANCE OF 222.06 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 80.00 FEET, A CENTRAL ANGLE OF 67°31'24", A CHORD BEARING OF S 56°14'18" E AND A CHORD DISTANCE OF 68.89 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 70.71 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 14°28'11", A CHORD BEARING OF S 15°14'30" E AND A CHORD DISTANCE OF 46.60 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 46.72 FEET TO THE END OF SAID CURVE; THENCE N 90°00'00" E, A DISTANCE OF 111.80 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 85°20'36", A CHORD BEARING OF N 42°40'18" E AND A CHORD DISTANCE OF 81.34 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 89.37 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 28°10'48", A CHORD BEARING OF S 80°34'00" E AND A CHORD DISTANCE OF 90.07 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 90.99 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 445.00 FEET, A CENTRAL ANGLE OF 36°14'21", A CHORD BEARING OF S 48°21'30" E AND A CHORD DISTANCE OF 276.79 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 78.14 FEET TO A POINT OF TANGENCY; THENCE S 30°14'15" E, A DISTANCE OF 35.69 FEET; THENCE S 59°45'45" W, A DISTANCE OF 45.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 90.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 35.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 20.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 20.00 FEET; THENCE N 30°14'15" W, A DISTANCE OF 10.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 163.67 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 855.00 FEET, A CENTRAL ANGLE OF 29°18'04", A CHORD BEARING OF S 44°53'17" E AND A CHORD DISTANCE OF 432.50 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 437.25 FEET TO A POINT OF TANGENCY; THENCE S 59°32'19" E, A DISTANCE OF 627.88 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 1055.00 FEET, A CENTRAL ANGLE OF 11°41'43", A CHORD BEARING OF S 65°23'10" E AND A CHORD DISTANCE OF 214.97 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 215.35 FEET TO THE END OF SAID CURVE; THENCE S 18°45'58" W, A DISTANCE OF 106.59 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 447.00 FEET, A CENTRAL ANGLE OF 31°38'09", A CHORD BEARING OF S 58°14'17" W AND A CHORD DISTANCE OF 243.44 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 246.55 FEET TO THE END OF SAID CURVE; THENCE S 66°43'12" W, A DISTANCE OF 64.74 FEET; THENCE S 19°48'38" W, A DISTANCE OF 186.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 18°19'10", A CHORD BEARING OF S 11°44'35" W AND A CHORD DISTANCE OF 205.99 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 206.87 FEET TO THE END OF SAID CURVE; THENCE S 00°16'49" W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 15°26'18", A CHORD BEARING OF S 09°44'31" E AND A CHORD DISTANCE OF 173.81 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 174.33 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 10°58'36", A CHORD BEARING OF S 11°59'22" E AND A CHORD DISTANCE OF 123.39 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 123.57 FEET TO THE END OF SAID CURVE; THENCE S 03°52'35" E, A DISTANCE OF 62.76 FEET; THENCE S 00°16'49" W, A DISTANCE OF 179.59 FEET; THENCE S 89°43'11" E, A DISTANCE OF 12.80 FEET; THENCE S 00°16'49" W, A DISTANCE OF 247.76 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE N 89°43'11" W ALONG SAID SOUTH LINE, A DISTANCE OF 1208.70 FEET TO THE NORTHEAST CORNER OF THE AFOREMENTIONED LOT 7; THENCE RUN S00°25'24"W ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 331.31 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN N89°44'39"W ALONG THE SOUTH LINE OF SAID LOTS 7 AND 8, A DISTANCE OF 1198.80 FEET TO THE AFORESAID EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD; THENCE RUN ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES AND DISTANCES: N00°27'37"E, A DISTANCE OF 0.94 FEET; THENCE RUN N89°32'12"W, A DISTANCE OF 15.00 FEET; THENCE RUN N00°27'16"E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 330.83 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES: N 00°13'55" E, A DISTANCE OF 1166.45 FEET; THENCE N 89°46'37" W, A DISTANCE OF 10.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 1014.41 FEET TO THE POINT OF BEGINNING.
CONTAINING: 140.497 ACRES MORE OR LESS.

TWIN LAKES

PHASES 2C

Osceola County, Florida

CONSTRUCTION PLANS

Submittal

OCTOBER 2016

Parcel ID. Numbers

17-26-31-0000-0030-0000 Portion,
17-26-31-0000-0040-0000 Portion,
17-26-31-0000-0050-0000 Portion,
17-26-31-0000-0060-0000

NOTE:
THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, BOAT DOCKS, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE/RETAINING WALLS.

UTILITY PROVIDERS

SEWER, WATER & RECLAIM

CITY OF ST. CLOUD
1300 9TH STREET
ST. CLOUD, FLORIDA 34769
407-957-7344

POWER

OUC ELECTRIC
5003 PERSHING AVENUE
ORLANDO, FLORIDA 32822
407-384-4100

TELEPHONE

CENTURYLINK
1359 VINE STREET
KISSIMMEE, FLORIDA 34741
407-390-6302

CABLE

BRIGHTHOUSE
3613 GRISSOM LANE
KISSIMMEE, FLORIDA 34741
407-532-8509

Prepared For

NARCOOSSEE LAND VENTURES, LLC
370 CENTER POINTE CIRCLE
ALTA MONTE SPRINGS, FLORIDA 32701

Civil Engineer /Environmental

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9711
CONTACT: DANIELLE VAN DE LOO, P.E.

Survey-Topographic

HANSON, WALTER & ASSOCIATES
400 EMMITT STREET
KISSIMMEE, FLORIDA 34741
PHONE: (407) 847-9433
CONTACT: RANDY HANSON

Survey-Boundary & Topographic

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9834
CONTACT: BILL DONLEY, P.S.M.

Geotechnical Engineer

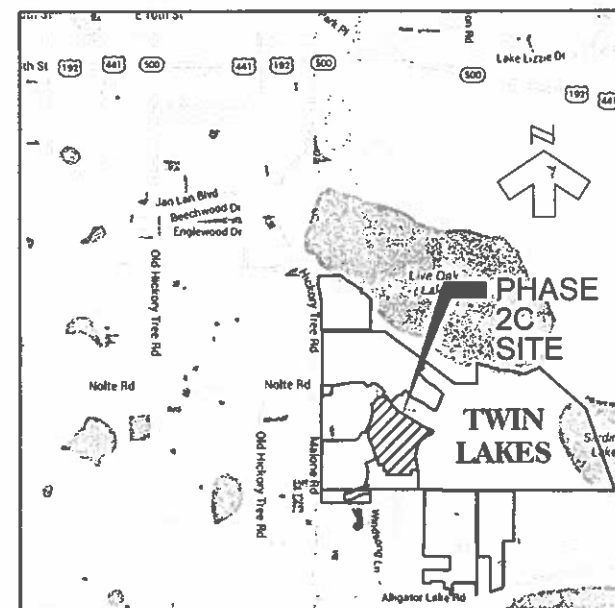
UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: GUY H. RABENS, M.S., P.E.

Traffic Engineer

LUKE TRANSPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.

Landscape Architect

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9744
CONTACT: MICHAEL URCHUK



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5170
ENGINEERING BUSINESS 4774

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | DESCRIPTION |
|-----|----------|-----|------------------|
| 1 | 11-16-16 | TFS | REV PER COMMENTS |

| | |
|-------------|--------------|
| DRAWN BY | TFS/RAL |
| APPROVED BY | DMV |
| CHECKED BY | DMV |
| DATE | OCTOBER 2016 |
| DATUM | NAYO 88 |

TITLE

COVER SHEET

PROJECT NO. J36KNT-1/FinPhase 2C

C01

SHEET NO.

SDP 16-0123 PS 15-00025 ZMA 13-0045

11-10-16 TFS REV PER COMMENTS

SDP16-0123 - 12/14/16

Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFECTS IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. THIS DOES NOT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. AN INFORMATIONAL NOTE THAT MAY BE INCLUDED WITHIN THESE DRAWINGS THAT ARE CONSIDERED UNDER THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

VOID WITHOUT SIGNATURE AND NOTARY SEAL OR BOTH

DATE: 12/14/16

BY: [Signature]

TITLE: [Signature]

DATE: 12/14/16

BY: [Signature]

TITLE: [Signature]

DATE: 12/14/16

BY: [Signature]

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NOTE: SEE SHEET No. C51 FOR TYPICAL SECTIONS.

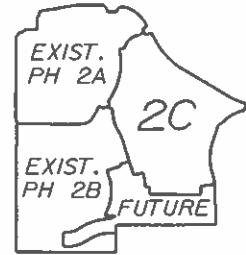
ACRES

| | |
|---------------------------|--------|
| EXISTING PHASE 2A - | 39.15 |
| EXISTING PHASE 2B - | 41.42 |
| PHASE 2C - | 42.92 |
| FUTURE PH 2 - | 17.01 |
| TOTAL PHASE 2 ACRES - | 140.50 |
| ADDITIONAL MASS GRADING - | 23.86 |
| TOTAL SITE ACRES - | 164.36 |

TRACT TABLE

| TRACT | AREA | DESIGNATION | USE | OWNERSHIP | MAINTENANCE |
|---------|-------|-----------------|-------------------|-------------------------------------|-------------|
| R-10 | 6.35 | ROADWAY | ROADWAY | MOA | MOA |
| SW-13 | 6.33 | DETENTION POND | POND/OPEN SPACE | MOA | MOA |
| SW-13 | 2.33 | DETENTION POND | POND/OPEN SPACE | MOA | MOA |
| OS-29 | 0.92 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS-30 | 0.08 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS-31 | 0.37 | PARK/OPEN SPACE | ACTIVE/RECREATION | MOA | MOA |
| OS-32A | 0.075 | PARK/OPEN SPACE | ACTIVE/RECREATION | MOA | MOA |
| OS-32B | 0.075 | PARK/OPEN SPACE | ACTIVE/RECREATION | MOA | MOA |
| OS-33 | 0.12 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS-34 | 1.21 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| LS-104A | 0.07 | LIFT STATION | LIFT STATION | CITY OF ST. CLOUD/CITY OF ST. CLOUD | |

NOTE: SIZE & CONFIGURATION OF TRACTS MAY VARY SLIGHTLY WITH FINAL SUBDIVISION PLANS.



SITE DATA

| | |
|---|-------------------------------|
| TOTAL AREA PHASE 2C | 42.92 Ac. |
| TOTAL DEVELOPABLE AREA | 42.92 Ac. |
| TOTAL LOTS | 146 LOTS |
| NET DENSITY: 146 LOTS/32.36 (DEVELOPABLE AREA - STORMWATER PONDS) | 4.51 LOTS/AC. |
| EXISTING ZONING | LDR (LOW DENSITY RESIDENTIAL) |
| EXISTING LAND USE | VACANT |
| DEVELOPABLE AREAS | |
| RESIDENTIAL (LOTS) | 23.09 Ac. |
| STORMWATER PONDS | 10.56 Ac. |
| PRIVATE STREETS | 6.35 Ac. |
| LIFT STATION TRACT: (TRACT LS-104A) | 0.07 Ac. |
| OPEN SPACE: (TRACTS OS-29 TO OS-34) | 2.85 Ac. |
| TOTAL | 42.92 Ac. |

REQUIRED TREES (DETACHED PRODUCT)

| | |
|---|----------------|
| TWO (2) TREES PER LOT | 292 (146 X 2) |
| ONE (1) TREE PER FOURTY (40) LF OF ROAD | 133 (5.313/40) |
| TOTAL TREES REQUIRED | 425 |

POND AREA

| | |
|----------------------------------|------------------------|
| REQUIRED (15% DEVELOPABLE AREA): | 6.44 Ac. (42.92 X 15%) |
| PROVIDED: | 10.56 Ac. |

STREETS TO BE PRIVATE

| | |
|------------------------------------|--------|
| MINIMUM DETACHED BUILDING SETBACKS | |
| FRONT (TO BLDGS. UNDER A/C) | 10 FT. |
| FRONT (TO FRONT GARAGE) | 20 FT. |
| REAR | 15 FT. |
| SIDE (STREET) | 10 FT. |
| SIDE | 5 FT. |
| POOL/ACCESSORY STRUCTURE | 5 FT. |

MAXIMUM BUILDING HEIGHT

| | |
|-------------------|--------------|
| MINIMUM LOT WIDTH | 3 STORIES |
| MINIMUM LOT AREA | 40 FT. |
| | 4000 SQ. FT. |

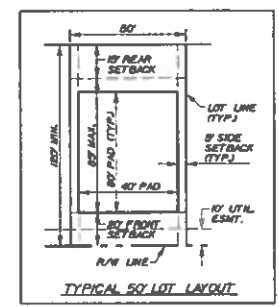
OPEN SPACE CALCULATIONS

| | |
|--|------------------------|
| REQUIRED (20% OF DEVELOPABLE PSP AREA): | 8.58 Ac. (42.92 X 20%) |
| PROVIDED: | |
| TRACTS OS-29 TO OS-34 | 2.85 Ac. |
| STORMWATER (MAX. 50% OF O.S. REQ.) | 4.29 Ac. |
| SURPLUS RECREATION CREDIT FROM THIS PHASE (NOTE 2) | 0.48 Ac. |
| SURPLUS OPEN SPACE FROM PHASES 2A & 2B (NOTE 3) | 0.96 Ac. |
| TOTAL PROVIDED | 8.58 Ac. |

RECREATION CALCULATIONS

| | |
|--|-------------------|
| REQUIRED: 1 AC./50 LOTS | 2.92 Ac. (146/50) |
| PROVIDED: | |
| STORMWATER PONDS (MAX. 25% OF POND AREA) | 2.64 Ac. |
| ACTIVE/TRAFFIC/PARKS (TRACTS OS-31, OS-32A & OS-32B) | 0.52 Ac. |
| TOTAL PROVIDED | 3.16 Ac. |
| SURPLUS ACTIVE RECREATION (2) | 0.24 Ac. |

(1) SURPLUS OPEN SPACE NOT UTILIZED IN THIS PHASE MAY BE UTILIZED IN FUTURE PHASES AS FULFILLING THE OPEN SPACE REQUIREMENTS.
(2) SURPLUS ACTIVE RECREATION NOT UTILIZED IN THIS PHASE MAY BE UTILIZED IN FUTURE PHASES AS FULFILLING THE ACTIVE RECREATION REQUIREMENTS.
(3) SURPLUS OPEN SPACE FROM PHASES 2A & 2B WAS UTILIZED TO MEET THE MINIMUM OPEN SPACE REQUIRED FOR THIS PHASE.



LOT MIX

PHASE 2C: 50' WIDE LOTS - 146
LF OF PRIVATE ROADWAY - 5,313 LF

TRAFFIC TRIPS GENERATED
BASED ON 9TH EDITION OF
ITE TRIP GENERATION
REPORT:

DAILY - 1275
PEAK - 121

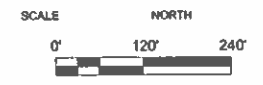
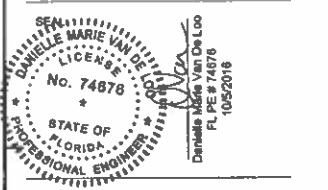
NOTE: PER LOC CHAPTER 4, ARTICLE 47.1A, ALL STREETS OR VEHICULAR TRAVEL WAYS WITHIN THE UGB SHALL BE LIGHTED AT NIGHT WITH LIGHTS PROVIDING A MINIMUM AVERAGE ILLUMINATION OF 0.2 FOOT CANDLES. STREET LIGHTS SHALL PRESERVE THE AMBIANCE OF THE NIGHT AND RESPECT THE PRIVACY OF NEIGHBORING PROPERTIES BY APPLYING PEDESTRIAN-SCALED FIXTURES. LIGHT POLES SHALL BE NO HIGHER THAN 18 FT. WITHIN THE UGB. STREET LIGHTING SHALL BE PERMITTED AND INSTALLED PRIOR TO CERTIFICATION OF COMPLETION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.1120
ENGINEERING BUSINESS 47M

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | Description |
|-----------|--------------|-----------|-------------|
| REVISIONS | | | |
| | | TFS / RAL | |
| | | DMV | |
| | | DMV | |
| | OCTOBER 2016 | | |
| | NAVD 88 | | |

PHASE 2C
SITE PLAN

PROJECT NO. J:SKNT-11FinalPhase 2C

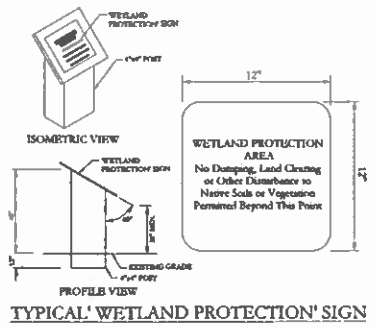
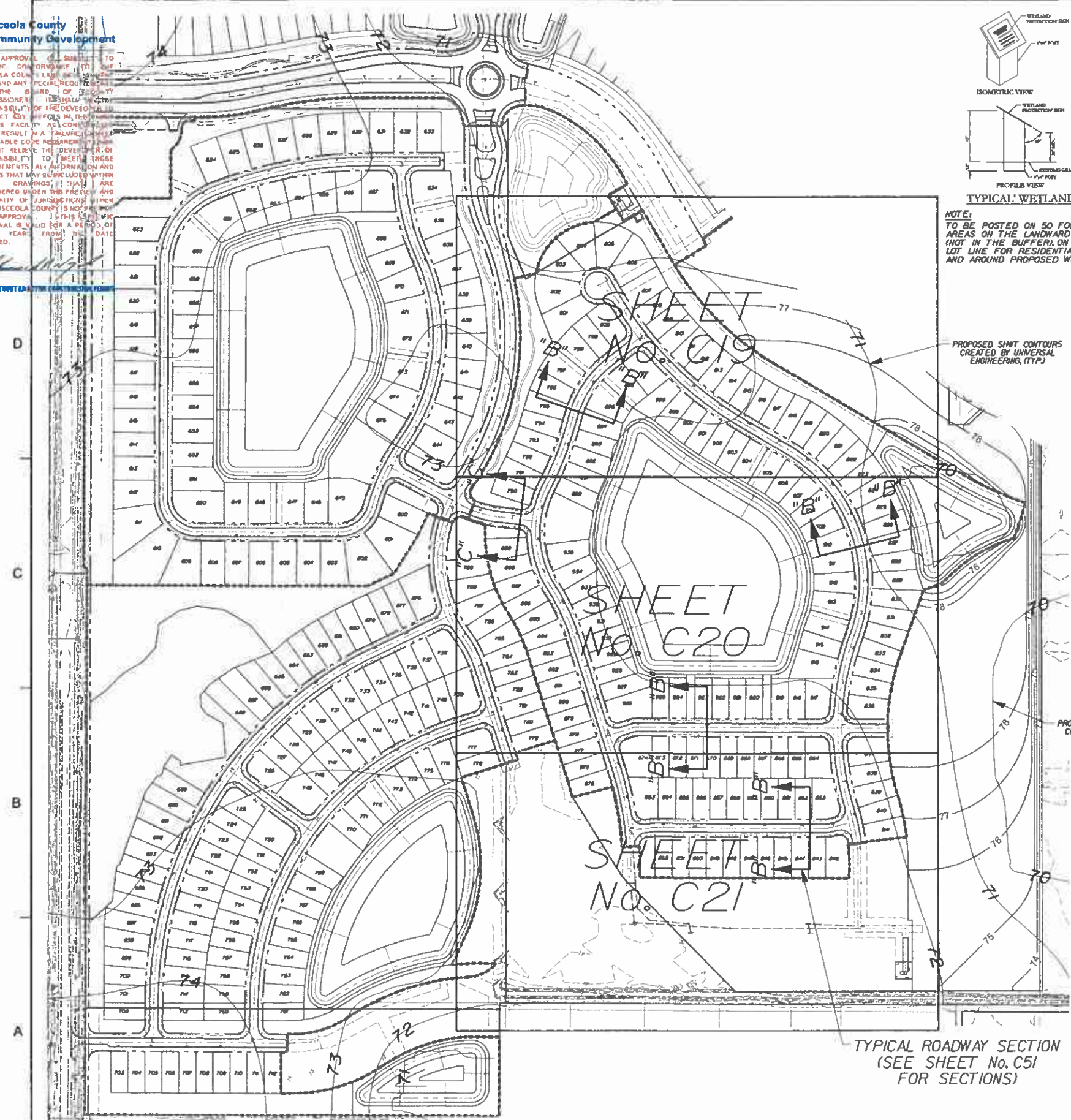
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SDP-16-0123 - 12/14/16

Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONDITIONS OF THE OSCEOLA COUNTY LDC, THE LDC CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. THE BOARD OF COUNTY COMMISSIONERS SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF THE FACILITY AS COMPLETED WHICH RESULT IN A FAILURE TO MEET THE APPLICABLE CODE REQUIREMENTS. DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED WITHIN THESE DRAWINGS, IF THEY ARE CONSIDERED UNDER THE PERMIT AND AUTHORITY OF JURISDICTION, WITHIN OSCEOLA COUNTY IS NOT BEING APPROVED. THIS APPROVAL IS VALID FOR A PERIOD OF THREE (3) YEARS FROM THE DATE STAMPED.

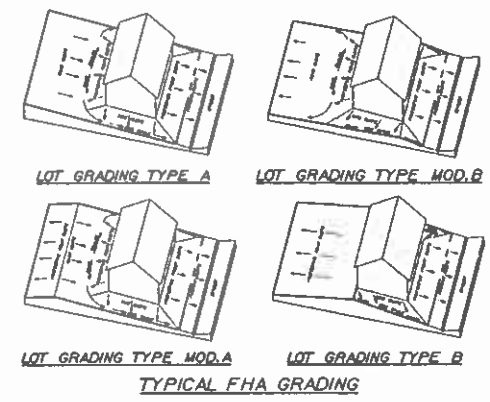
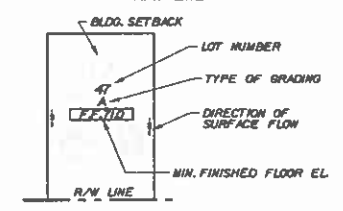
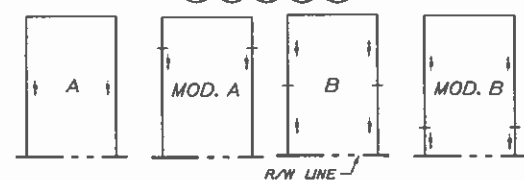
NOT VALID WITHOUT AN ACTIVE CONTRACT WITH PERMIT



NOTE:
TO BE POSTED ON 50 FOOT CENTERS IN COMMON AREAS ON THE LANDWARD EDGE OF THE BUFFER (NOT IN THE BUFFER) ON EVERY OTHER INDIVIDUAL LOT LINE FOR RESIDENTIAL PROPERTIES ADJACENT, AND AROUND PROPOSED WETLAND BUFFER EDGE.

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 2. MOD. B & B GRADED LOTS ARE AT A MINIMUM 18" ABOVE THE CROWN OF THE ROADWAY.
 3. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.51.
 4. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 200, 201, 210, 211 AND 232.
 5. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C13 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 6. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C51.
 7. A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 8. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 9. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 10. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C27-C33.
 11. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 12. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 13. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 14. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C10.
 15. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND CROWN ELEVATIONS FOR PERIMETER WALL.
 16. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS, SEE DETAIL.
 17. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
70' LOTS - 5800 SF
AREA INCLUDES WALKWAYS AND DRIVEWAYS



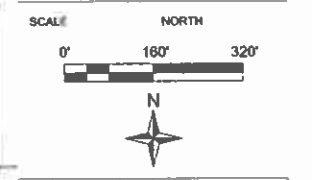
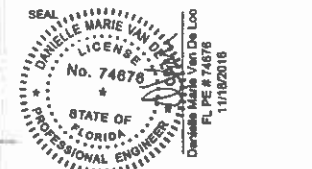
NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32809
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8784

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | REV PER COMMENTS |
|-----|---------|-----|------------------|
| 1 | 11-9-16 | TFS | REV PER COMMENTS |

REVISIONS

| | |
|-------------|--------------|
| DRAWN BY | TFS / RAL |
| APPROVED BY | DMV |
| CHECKED BY | DMV |
| DATE | OCTOBER 2016 |
| DATUM | NAVD 88 |

OVERALL
GRADING PLAN
KEY MAP

PROJECT NO. J16KNT-11FinalPhase 2C

C18

SHEET NO.
SDP 16-0123 PS 15-00025 ZMA 13-0045

11-10-16 TFS REV PER COMMENTS

Osceola County
Community Development

SDP16-0123 - 12/14/16

THIS APPROVAL IS SUBJECT TO THE OSEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. THE DEVELOPER DOES IT UNDER THE DEVELOPER'S RESPONSIBILITY TO MEET THOSE REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCLUDED WITHIN THESE DRAWINGS THAT ARE CONSIDERED UNDER THE FREEDOM AND ACCESSIBILITY OF INFORMATION ACT OF 1987 (P.L. 100-62) ARE NOT PART OF THIS APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE STAMPED.

NOT VALID WITHOUT AN ACTIVE CONSTRUCTION PERMIT

EXISTING
DETENTION
POND 9

EXIST.
PHASE I
(SDP 15-0060)

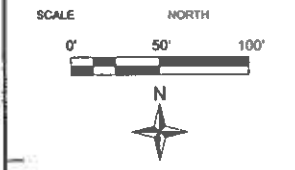
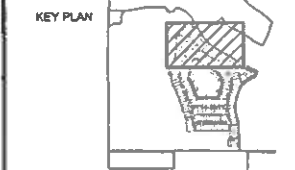
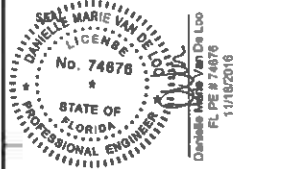
EXIST.
PHASE I
(SDP 15-0060)

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.543.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | Description |
|-----|------|----|-------------|
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| REVISIONS |
|-------------------|
| DRAWN BY TFS/RL |
| APPROVED BY DMV |
| CHECKED BY DMV |
| DATE OCTOBER 2016 |
| DATUM NAVD 88 |

TITLE

LOT & BLOCK
GRADING PLAN

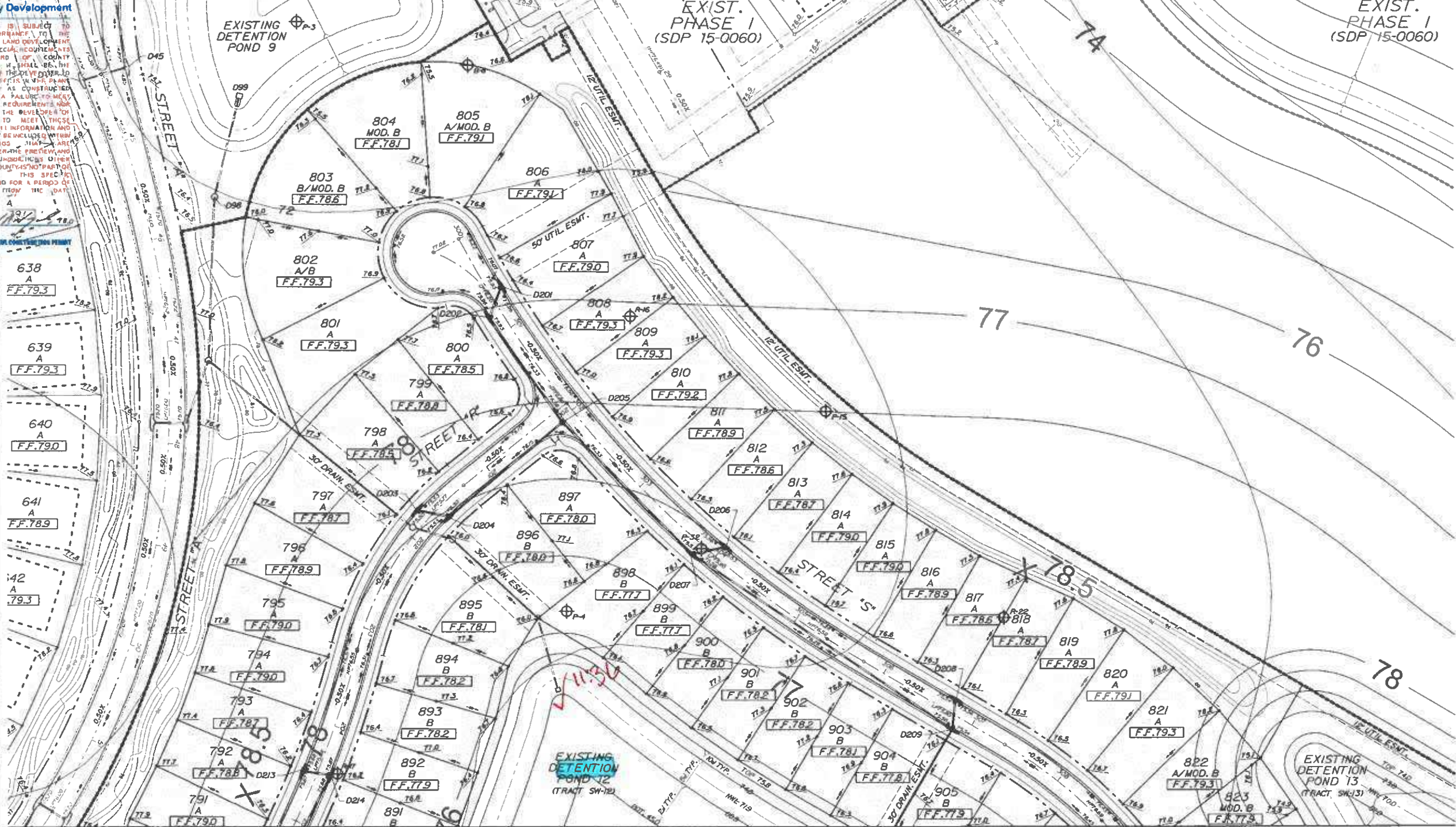
PROJECT NO. 16-0123-1/Phase 2C

C19

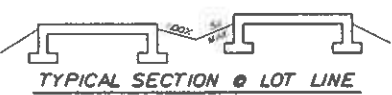
SHEET NO.

SDP 16-0123 PS 15-00025 ZMA 13-0045

1 11-10-16 TFS REV PER COMMENTS



| LEGEND | | |
|---------------------------|----------|----------|
| DESCRIPTION | EXISTING | PROPOSED |
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS | | |
| SOILS BORING | | |



NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.2' BELOW FINISHED FLOOR ELEV.

- NOTES:
1. SEE SHEET No. C18 FOR TYPICAL FHA GRADING DETAILS.
 2. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
 3. MOD. B & B GRADED LOTS ARE AT A MINIMUM 18" ABOVE THE CROWN OF THE ROADWAY.
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 6. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C13 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
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 9. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 10. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 11. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C27-C33.

12. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
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15. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C10.
16. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND CROWN ELEVATIONS FOR PERIMETER WALL.
17. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS (SEE DETAIL SHEET No. C18).
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NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

Osceola County
Community Development

SDP16-0123 - 12/14/16

THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS, UNLESS THE DRAINAGE DISTRICTS, WHICH RESULT IN A ASSURE THE APPLICABLE CODE REQUIREMENTS. DOES IT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET THE REQUIREMENTS OF THE OSCEOLA COUNTY LAND DEVELOPMENT CODE THAT MAY BE INCLUDED WITH THESE DRAWINGS. THAT CONSIDERATION WHEN THE PREVIEW AND AUTHORITY OF JURISDICTIONS OTHER THAN OSCEOLA COUNTY IS NOT PART OF THE APPROVAL. THIS SPECIFIC APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE DRAWING.

NOT USED WITHOUT AN APPROVED CONSTRUCTION PLAN

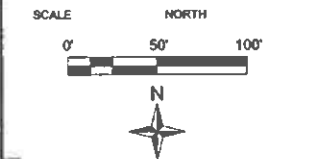
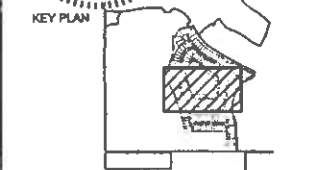
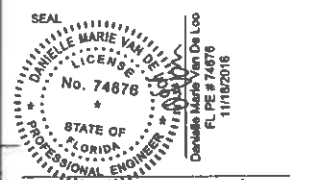
MATCH LINE SEE SHEET No. C19 MATCH LINE



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | Description |
|-----------|------|---------|-------------|
| REVISIONS | | | |
| 1 | | JTS/RAL | DRAWN BY |
| 2 | | DMV | APPROVED BY |
| 3 | | DMV | CHECKED BY |
| 4 | | | DATE |
| 5 | | | DATUM |

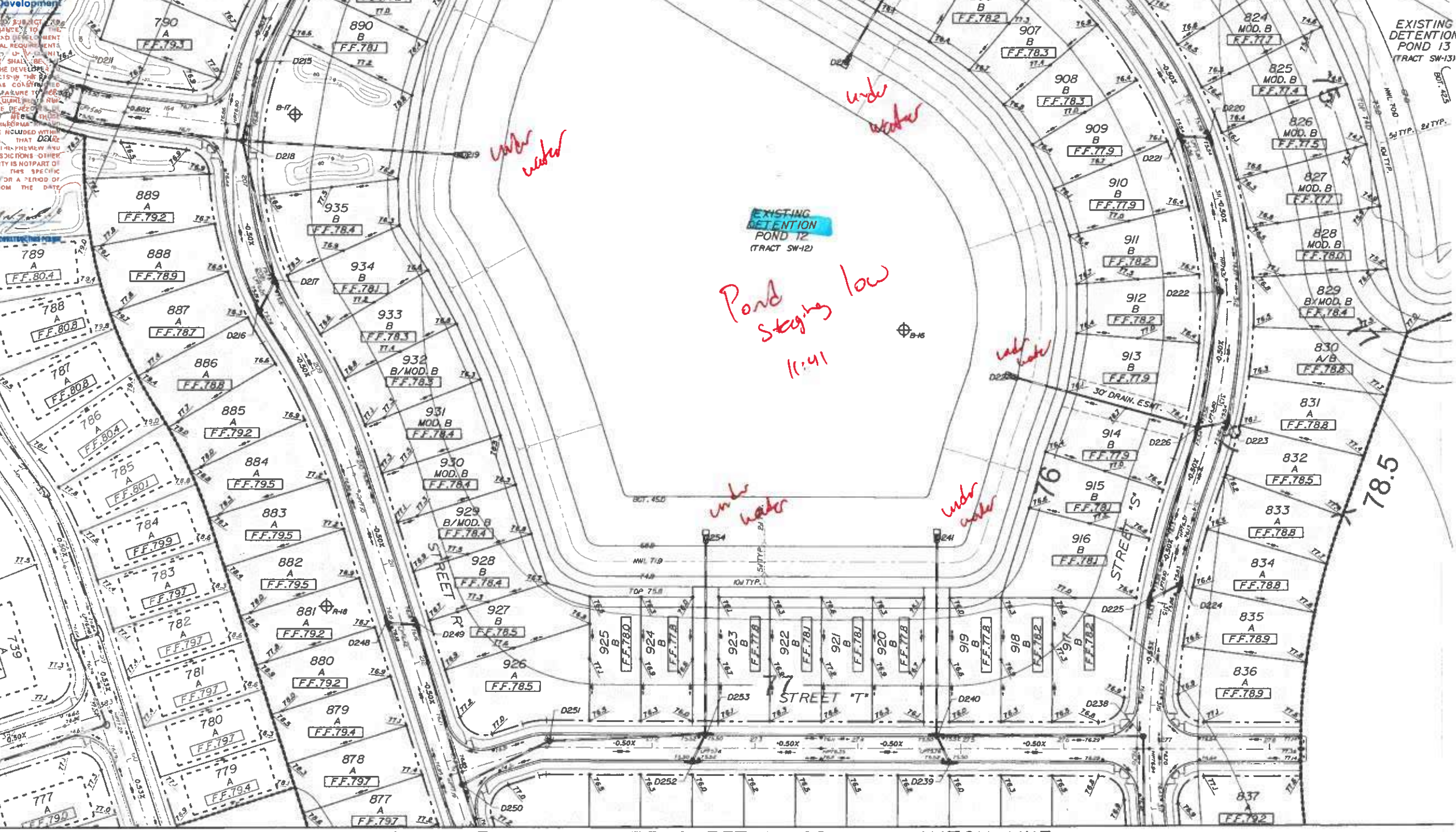
TITLE

LOT & BLOCK
GRADING PLAN

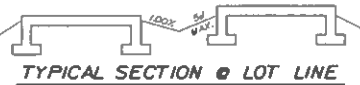
PROJECT NO. J180NT-1FinalPhase 2C

C20

SDP 16-0123 PS 15-00025 ZMA 13-0045



| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS | | |
| SOILS BORING | | |



NOTE:
SITE GRADE CONTRACTOR TO GRADE BLDG. PAD AREA WITHIN SETBACK TO 0.7' BELOW FINISHED FLOOR ELEV.

- NOTES:
1. SEE SHEET No. C18 FOR TYPICAL FHA GRADING DETAILS.
 2. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 18" ABOVE THE ADJACENT ROAD CROWN FOR WHICH APPROVAL WITH THIS SDP IS BEING REQUESTED.
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 7. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C51.
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 11. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C27-C33.
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 15. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C10.
 16. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.
 17. CONSERVATION AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS (SEE DETAIL SHEET No. C18).
 18. CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SITUATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP16-0123 - 12/14/16

Osceola County
Community Development
THIS APPROVAL IS SUBJECT TO THE SPECIFIC CONFORMANCE TO THE OSCEOLA COUNTY LAND DEVELOPMENT CODE AND ANY SPECIAL REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO CORRECT ANY DEFICIENCIES IN THE PLANS OR THE FACILITY AS CONSTRUCTED WHICH RESULT IN A FAILURE TO MEET APPLICABLE CODE REQUIREMENTS. THIS DOES NOT RELIEVE THE DEVELOPER OF RESPONSIBILITY TO MEET ALL REQUIREMENTS. ALL INFORMATION AND DETAILS THAT MAY BE INCORPORATED WITHIN THESE DRAWINGS SHALL BE CONSIDERED UNDER THE JURISDICTION AND AUTHORITY OF JURISDICTION OTHER THAN OSCEOLA COUNTY IS NOT PART OF THIS APPROVAL. THIS APPROVAL IS VALID FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE STAMP.

NOT VALID WITHOUT AN ACTIVE PROFESSIONAL ENGINEER

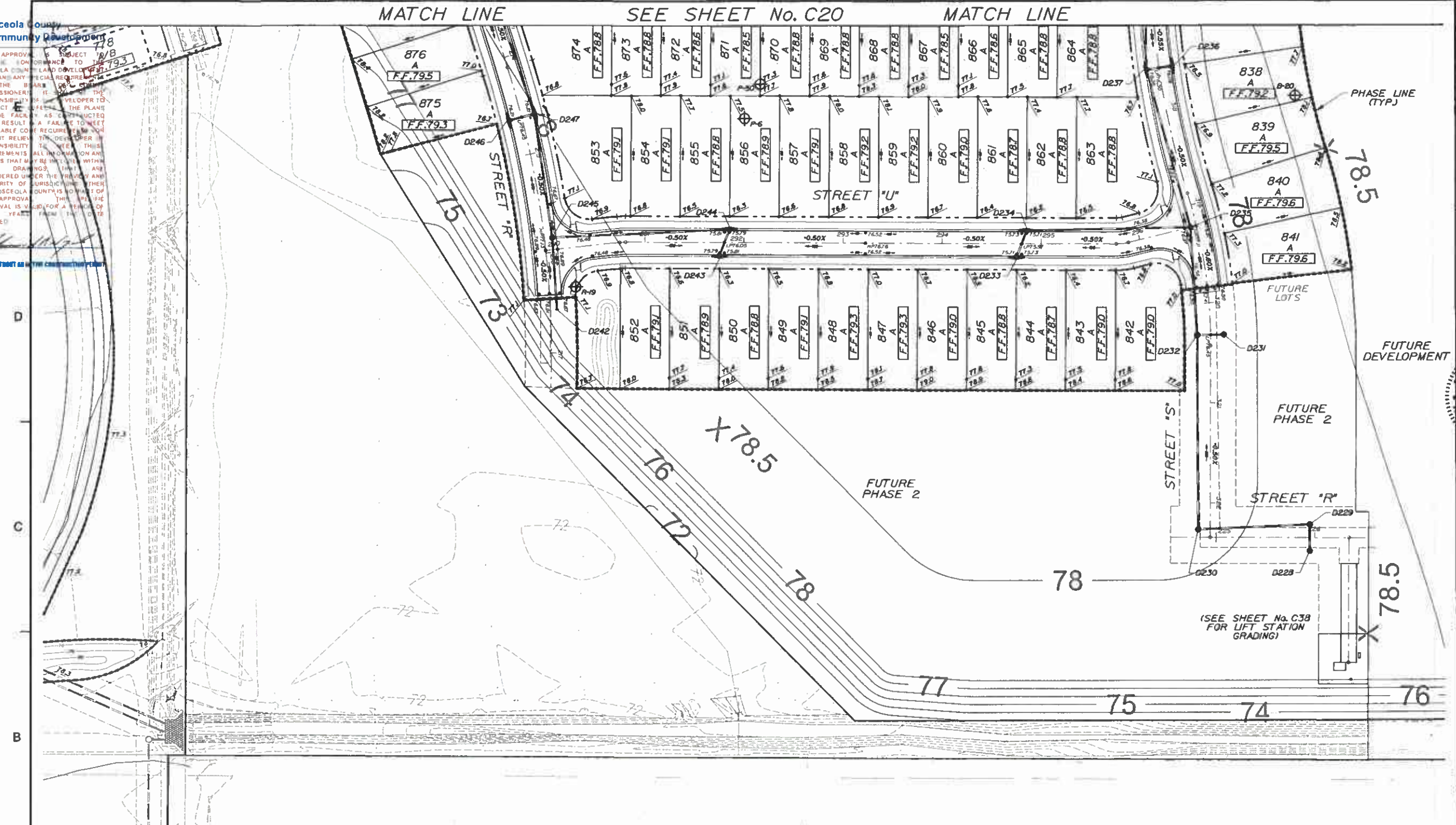
MATCH LINE SEE SHEET No. C20 MATCH LINE

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.6120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 2C

OSCEOLA COUNTY, FLORIDA



SEAL OF THE STATE OF FLORIDA
LICENSE No. 74878
STATE OF FLORIDA
PROFESSIONAL ENGINEER
KEY PLAN
SCALE
NORTH
0' 50' 100'
N

| No. | DATE | BY | Description |
|-------------|------|------------|-------------|
| REVISIONS | | | |
| DRAWN BY | | TFS / RAL | |
| APPROVED BY | | DMV | |
| CHECKED BY | | DMV | |
| DATE | | OCTOBER 20 | |
| DATUM | | NAVD 88 | |

LOT & BLOCK
GRADING PLAN

PROJECT NO. 16B001-1/Phase 2C

C21

SHEET NO.
SDP 16-0123 PS 15-00025 ZMA 13-0045

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |
| SOILS BORING | | |



NOTE:
SITE GRADE CONTRACTOR TO GRADE BLDG. PAD AREA WITHIN SETBACK TO 0.7' BELOW FINISHED FLOOR ELEV.

- NOTES:
- SEE SHEET No. C18 FOR TYPICAL FHA GRADING DETAILS.
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 - STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX, 800, 201, 210, 211 AND 232.
 - SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C13 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 - FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C51.
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NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

| TRACT TABLE | | | | | |
|-------------|------|-------------|------------|-----------|-------------|
| TRACT | AREA | DESIGNATION | USE | OWNERSHIP | MAINTENANCE |
| OS3-1 | 0.18 | OPEN SPACE | OPEN SPACE | HOA | HOA |
| OS3-2 | 0.04 | OPEN SPACE | OPEN SPACE | HOA | HOA |
| OS3-3 | 0.23 | OPEN SPACE | OPEN SPACE | HOA | HOA |
| OS3-4 | 1.48 | OPEN SPACE | OPEN SPACE | HOA | HOA |
| RD3-1 | 8.03 | ROADWAY | ROADWAY | HOA | HOA |

NOTE: SEE SHEET No. C41 FOR TYPICAL SECTIONS.

SEAL
Nicole P. Stalder
The seal has been
electronically signed and
dated by Nicole P.
Stalder PE on the date
adjacent to the seal.
Printed copies of this
document are not
considered signed and
sealed and the
signature must be
verified on any
electronic copies.
2022.03.23 14:26:13
04767
Nicole P. Stalder
FL PE # 84720
3/23/2022

SCALE NORTH
0' 100' 200'
N

| REVISIONS | | | | |
|-----------|---------|-----|----------------------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 3 | 3-23-22 | KJK | REV PER COMMENTS | |
| 1 | 1-25-22 | KJK | REV PER CC & CO. & CITY COMMENTS | |

| | |
|-------------|---------------|
| PROJECT # | 50145101 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | CJA |
| DATE | DECEMBER 2021 |
| DATUM | NAD 88 |

| | |
|-----------|--|
| TITLE | PHASE 3
SITE PLAN |
| PROJECT | J:\BKN3\FINAL\Phase 3\BKN3PH3 SITE01.dgn |
| SHEET NO. | C10 |



POSTED SPEED 25 MPH
LOCAL URBAN
52' R/W WIDTH

EXIST.
PHASE 1

EXIST.
PHASE 1

PHASE
LINE (TYP.)

EXIST.
DETENTION
POND 7

EXIST.
PHASE 2C

POSTED SPEED 35 MPH
COLLECTOR CLASS 5
110' R/W WIDTH

EXIST.
DETENTION
POND 13

EXIST.
DETENTION
POND 16

EXIST.
PHASE 4B

PROP. Δ
DETENTION
POND 19

SITE DATA

| | |
|--|-------------------------------|
| TOTAL DEVELOPABLE AREA | 34.73 AC. |
| TOTAL LOTS | 140 LOTS |
| NET DENSITY: 140 LOTS/34.73 (DEVELOPABLE AREA) | 4.03 LOTS/AC. |
| EXISTING ZONING | LOR (LOW DENSITY RESIDENTIAL) |
| EXISTING LAND USE | VACANT |
| DEVELOPABLE AREAS | |
| RESIDENTIAL (1,078) | 24.79 AC. |
| PRIVATE STREET | 8.03 AC. |
| OPEN SPACE (TRACTS OS3-1 TO OS3-4) | 1.91 AC. |
| TOTAL | 34.73 AC. |
| REQUIRED TREES (DETACHED PRODUCT) | |
| TWO (2) TREES PER LOT | 280 (140 X 2) |
| ONE (1) TREE PER FOURTY (40) LF OF ROAD | 172 (86 X 40) |
| TOTAL TREES REQUIRED | 452 |
| MINIMUM DETACHED BUILDING SETBACKS | |
| FRONT (TO BLDGS. UNDER A/C) | 10 FT. |
| FRONT (TO FRONT GARAGE) | 25 FT. |
| REAR | 10 FT. |
| SIDE (STREET) | 10 FT. |
| SIDE | 5 FT. |
| POOL/ACCESSORY STRUCTURE | 5 FT. |
| MAXIMUM BUILDING HEIGHT | 3 STORIES |
| MINIMUM LOT WIDTH | 40 FT. |
| MINIMUM LOT AREA | 4000 SQ. FT. |
| OPEN SPACE CALCULATIONS | |
| REQUIRED (20% OF DEVELOPABLE AREA): | 6.95 AC. (34.73 X 20%) |
| PROVIDED: | |
| TRACTS OS3-1 TO OS3-4 | 1.91 AC. |
| SURPLUS OPEN SPACE FROM PHASE 1 (1) | 5.04 AC. |
| TOTAL PROVIDED | 6.95 AC. |
| RECREATION CALCULATIONS | |
| REQUIRED: 1 AC./50 LOTS | 2.80 AC. (140/50) |
| PROVIDED: | |
| SURPLUS FROM PHASE 1 (2) | 2.80 AC. |
| TOTAL RECREATION FOR PHASE 1 IS 2.80 ACRES | |
| (1) THERE IS NOW 11.06 ACRES OF SURPLUS OPEN SPACE IN PHASE 1. 9.04 ACRES WAS UTILIZED TO MEET THE MINIMUM OPEN SPACE REQUIRED FOR THIS PHASE. | |
| (2) THERE IS 14.73 ACRES OF SURPLUS RECREATION AVAILABLE AND 11.93 ACRES SURPLUS ACTIVE RECREATION REMAINING IN PHASE 1. ALL 2.80 ACRES WAS UTILIZED TO MEET THE MINIMUM ACTIVE RECREATION AREA REQUIRED FOR THIS PHASE. | |
| REQUIRED PARKING CALCULATIONS | |
| 4 SPACES OFF-STREET PER UNIT | 560 SPACES |
| 1 SPACE ON-STREET PER 2 UNITS | 70 SPACES |
| PROVIDED PARKING CALCULATIONS | |
| OFF-STREET | 560 SPACES |
| ON-STREET | 82 SPACES |
| TRAFFIC TRIPS GENERATED BASED ON 9TH EDITION OF ITE TRIP GENERATION REPORT: | |
| DAILY = 1222 (2 WAY) | |
| PEAK = 116 (2 WAY) | |
| LINEAR FEET OF PRIVATE ROADWAY = 8872 | |

NOTE:
PER LDC CHAPTER 4, ARTICLE 4.7.11A, ALL STREETS OR VEHICULAR TRAVEL WAYS WITHIN THE UGB SHALL BE LIGHTED AT NIGHT WITH LIGHTS PROVIDING A MINIMUM AVERAGE ILLUMINATION OF 0.7 FOOT CANDLES. STREET LIGHTS SHALL PRESERVE THE AMBIANCE OF THE NIGHT AND RESPECT THE PRIVACY OF NEIGHBORING PROPERTIES BY APPLYING PEDESTRIAN-SCALED FIXTURES. LIGHT POLES SHALL BE NO HIGHER THAN 18 FT WITHIN THE UGB. STREET LIGHTING SHALL BE PERMITTED AND INSTALLED PRIOR TO CERTIFICATION OF COMPLETION.

| LOT MIX | |
|----------|-------|
| 50' LOTS | = 112 |
| 70' LOTS | = 28 |
| TOTAL | = 140 |

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

THIS APPROVAL IS SUBJECT TO THE CITY OF OSCEOLA COUNTY AND DEVELOPER'S CODE AND ANY OTHER ORDINANCES OF THE COUNTY OF OSCEOLA. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

MATCH LINE SEE SHT. No. C16

MATCH LINE SEE SHT. No. C15

GAIA DRIVE

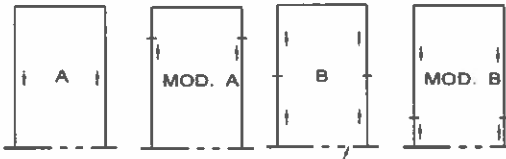
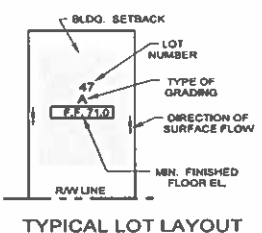
PROPOSED SHWT CONTOURS
CREATED BY UNIVERSAL
ENGINEERING SCIENCES, INC. (TYP.)

FUTURE
PHASE 5

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|--|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS
(CREATED BY UNIVERSAL
ENGINEERING SCIENCES, INC.) | | |

TOTAL IMPERVIOUS AREA = 22.28 ACRES
MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
70' LOTS - 5800 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS



TYPICAL SECTION @ LOT LINE

NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.7' BELOW FINISHED FLOOR ELEV.

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 24" ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B/MOD. B LOTS, OR 24" ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5.1.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-082.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C08 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTION SEE SHEET No. C41.
 6. DRAINAGE TRACTSEASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA/CCO WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEETS Nos. C24-C31.
 9. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT, IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURBOR EDGE OF PAVEMENT SHALL BE SODDED.
 10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 13. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS-4794

TWIN LAKES
PHASE 3

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole Peterson
Professional Engineer
No. 64720
FL PE # 64720
FL 1/31/2022

KEY PLAN



SCALE

NORTH



REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|-----------------------------------|
| 1 | 1-25-22 | KJK | REV PER QC & CO., & CITY COMMENTS |

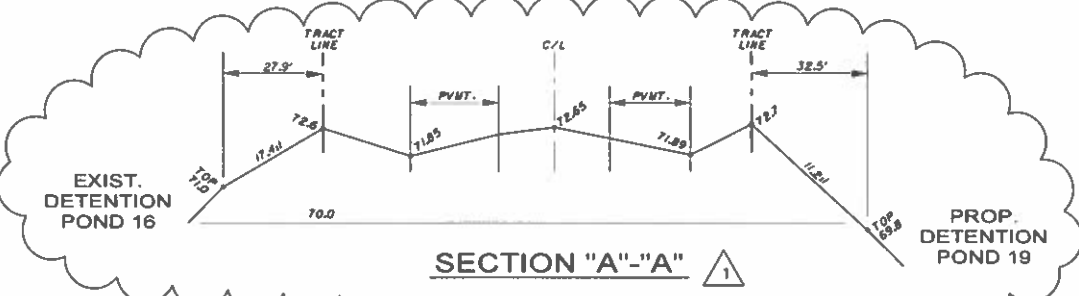
PROJECT # 50145191
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY CJA
DATE DECEMBER 2021
DATUM NAVD 88

TITLE

LOT & BLOCK
GRADING PLAN

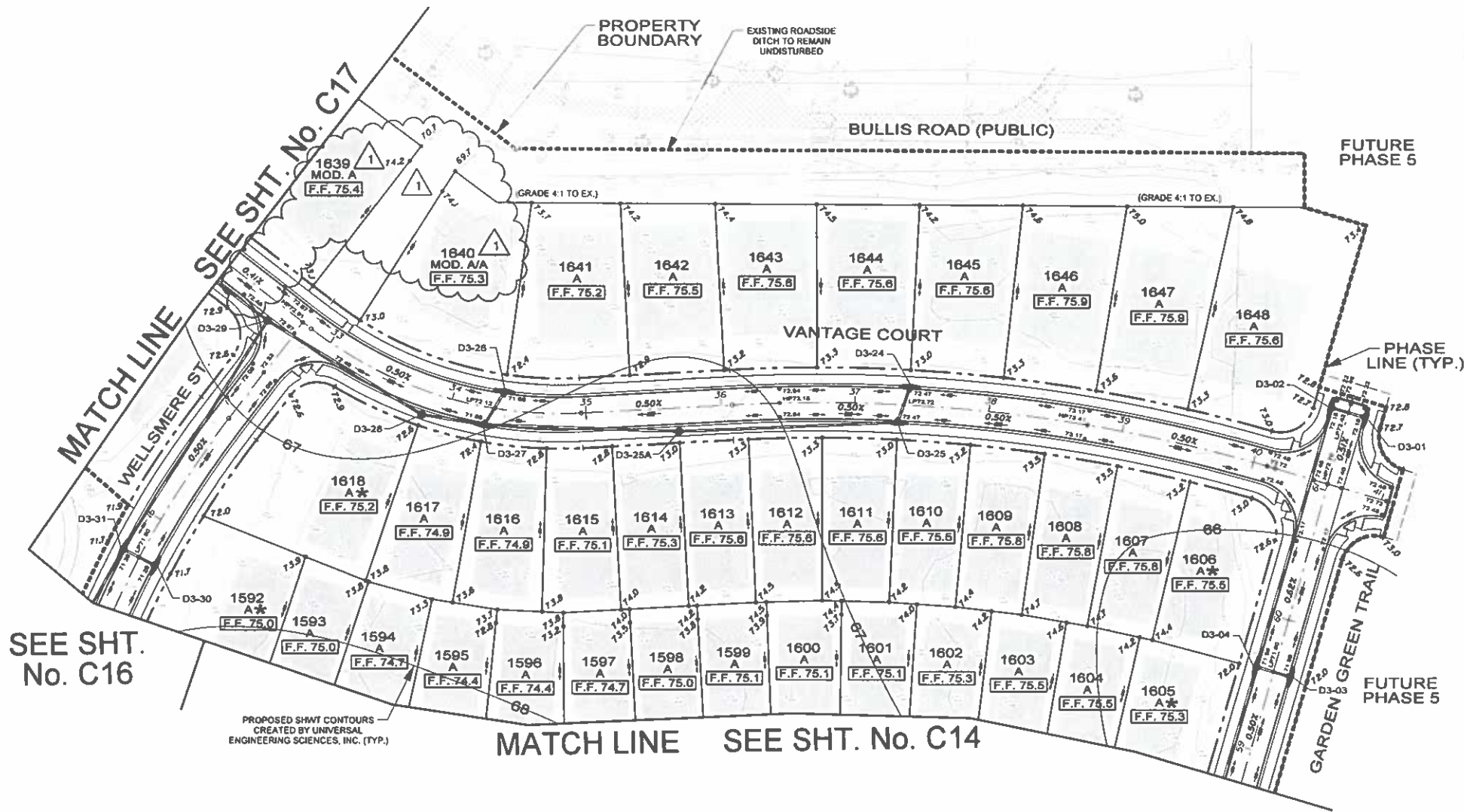
PROJECT: J:\BENT3\FINAL\PHASE 3
SHEET NO.

C14



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOT VALID WITHOUT THE SIGNATURE OF THE ENGINEER



LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|--|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SPOT CONTOURS
(CREATED BY UNIVERSAL
ENGINEERING SCIENCES, INC.) | | |

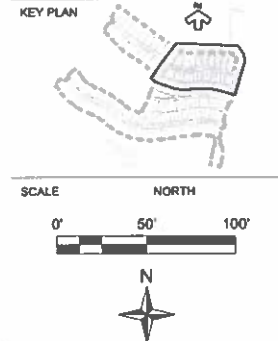
TOTAL IMPERVIOUS AREA = 22.28 ACRES
MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
70' LOTS - 5800 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.443.5120
ENGINEERING BUSINESS - 3794

TWIN LAKES
PHASE 3

OSCEOLA COUNTY, FLORIDA



| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|----------------------------------|
| 1 | 1-25-22 | KJK | REV PER QC & CO. & CITY COMMENTS |

PROJECT # 50145191
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY CJA
DATE DECEMBER 2021
DATUM NAVD 88

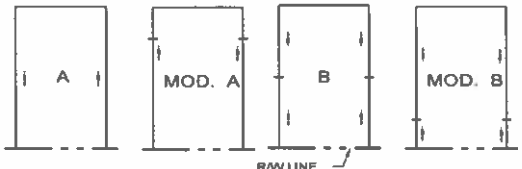
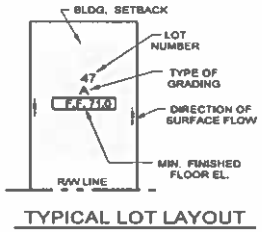
TITLE

LOT & BLOCK
GRADING PLAN

PROJECT: JABKNT3/FINAL/PHASE 3
SHEET NO.

C15

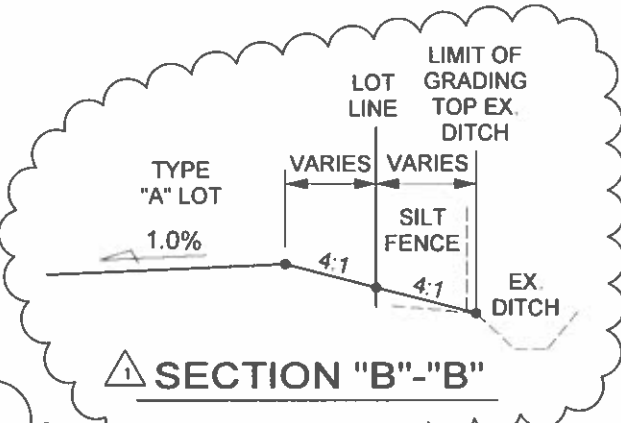
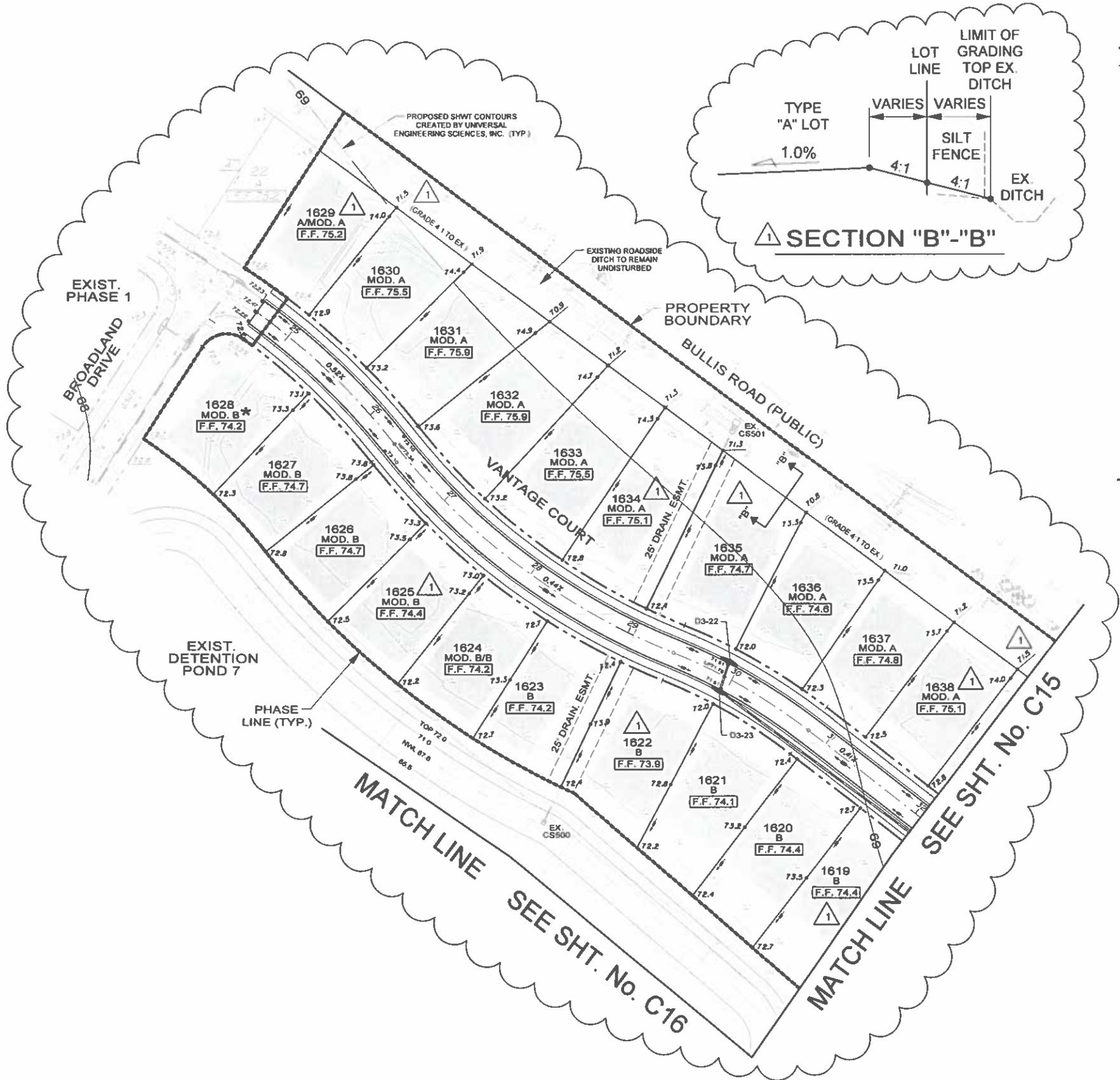
- NOTES:
- ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 24" ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B LOTS, OR 24" ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
 - ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LOC ARTICLE 4.6.1.
 - STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-062.
 - SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C08 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 - FOR TYPICAL ROADWAY SECTION SEE SHEET No. C41.
 - DRAINAGE TRACTS/EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOACDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 - NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 - FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEETS Nos. C24-C31.
 - STRIP 600 OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 - ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 - SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 - SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 - REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE SEEDING AND COLUMN ELEVATIONS FOR PERIMETER WALL.



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

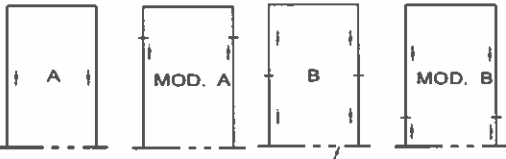
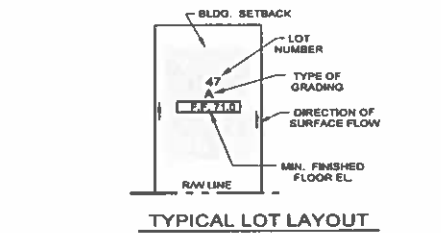
THIS APPROVAL IS SUBJECT TO THE
OSCEOLA COUNTY AND SEVERAL
CODES AND ANY OTHER ORDINANCES
OF THE BOARD OF COUNTY
COMMISSIONERS. IT SHALL BE THE
RESPONSIBILITY OF THE DEVELOPER TO
COMPLY WITH ALL ORDINANCES AND
CODES. THE BOARD OF COUNTY
COMMISSIONERS DOES NOT WARRANT
THE ACCURACY OF THE INFORMATION
CONTAINED HEREIN. THE BOARD OF
COUNTY COMMISSIONERS DOES NOT
WARRANT THE ACCURACY OF THE
INFORMATION CONTAINED HEREIN.
THE BOARD OF COUNTY COMMISSIONERS
DOES NOT WARRANT THE ACCURACY OF
THE INFORMATION CONTAINED HEREIN.

ONLY VALID WITHIN THE PROJECT BOUNDARY



LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|--|----------|-----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | | 1.0' 1.0' |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHWT CONTOURS
(CREATED BY UNIVERSAL
ENGINEERING SCIENCES, INC.) | | -74 |



NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.7' BELOW FINISHED FLOOR ELEV.

TOTAL IMPERVIOUS AREA = 22.28 ACRES
MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
70' LOTS - 5800 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 24" ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B/MOD. B LOTS, OR 24" ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5.1.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-062.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C08 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTION SEE SHEET No. C41.
 6. DRAINAGE TRACTS/EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOACDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEETS Nos. C24-C31.
 9. STRIP 800 OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/EDGE OF PAVEMENT SHALL BE SODDED.
 10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON-SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 13. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

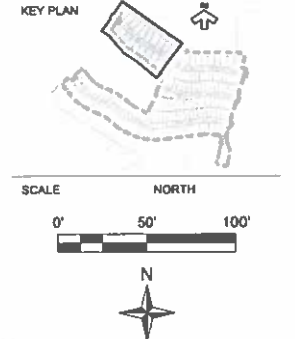


Dewberry Engineers Inc.
800 NORTH MADWOLLA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.343.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASE 3

OSCEOLA COUNTY, FLORIDA

SEAL
Nicole P. Stalder
This seal has been
digitally signed and
verified by Nicole P.
Stalder PE on the date
adjacent to the seal.
The document and its
contents are not
considered signed and
sealed and the
signature must be
verified on any
electronic copies.
2022.03.23 14:38:43
EST
Nicole Pelletier Stalder
FL PE # 84720
3/23/2022



| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|----------------------------------|
| 1 | 1-25-22 | KJK | REV PER QC & CO. & CITY COMMENTS |

PROJECT # 50145191
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY CJA
DATE DECEMBER 2021
DATUM NAVD 88

TITLE
LOT & BLOCK
GRADING PLAN

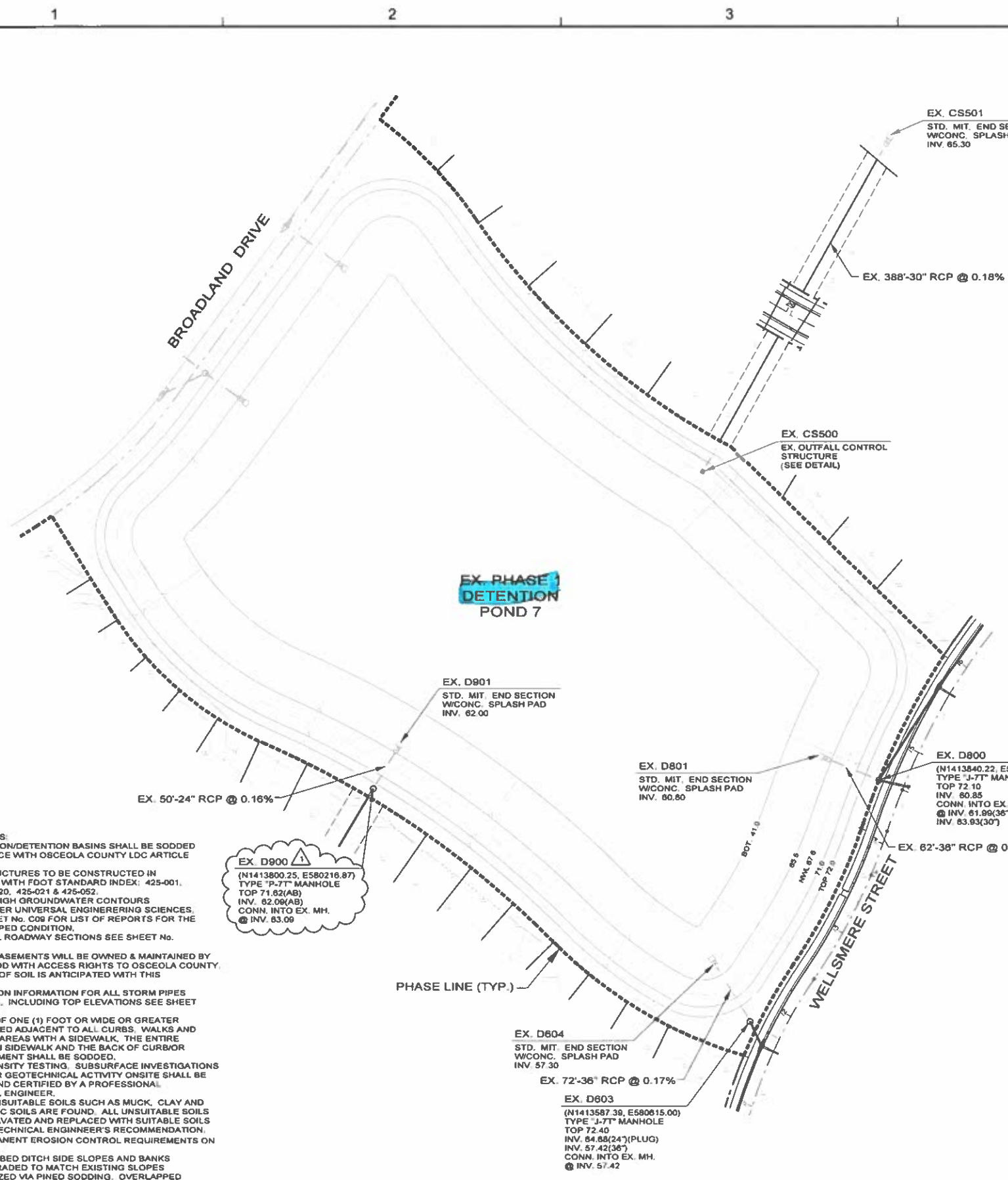
PROJECT: #BK013FINALPHASE 3
SHEET NO.

C17

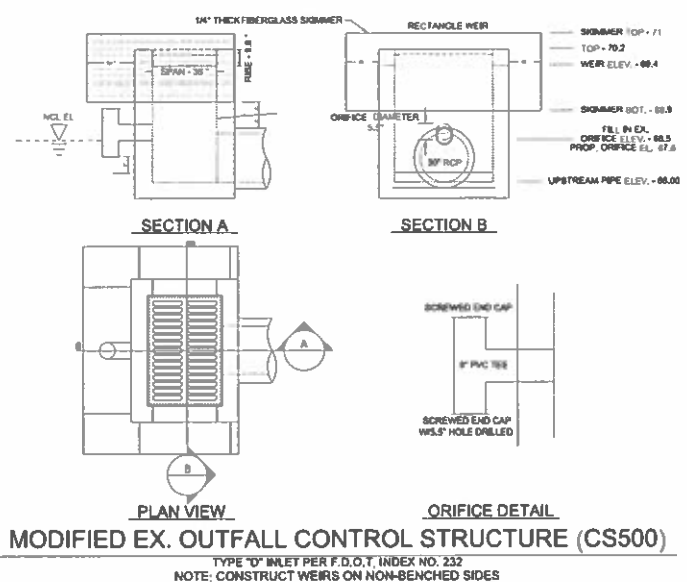
NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP21-0191
04/15/2022
Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO THE CITY OF OSCEOLA COUNTY, FLORIDA, AND THE OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT. THE CITY OF OSCEOLA COUNTY, FLORIDA, AND THE OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT. THE CITY OF OSCEOLA COUNTY, FLORIDA, AND THE OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT. THE CITY OF OSCEOLA COUNTY, FLORIDA, AND THE OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROJECT.

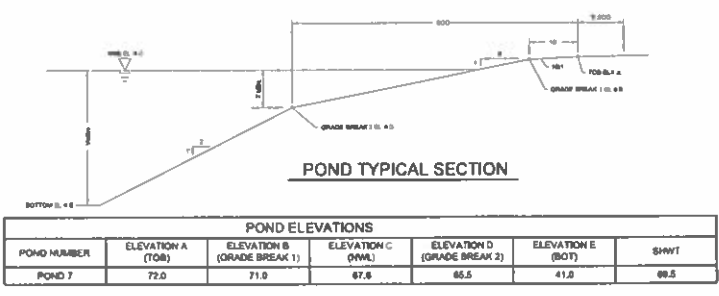


- GRADING NOTES:**
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5.1.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C09 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C41.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C24-C31.
 8. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURBOR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
 14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.



| INTERIM CONDITION POND DESIGN STAGES | | | | |
|--------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 7 | 69.20 | 69.67 | 70.40 | 70.61 |

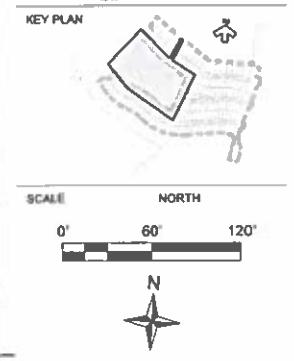
| FINAL BUILD-OUT POND DESIGN STAGES | | | | |
|------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 7 | 69.50 | 69.83 | 70.58 | 70.97 |



Dewberry
Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 4794

TWIN LAKES
PHASE 3
OSCEOLA COUNTY, FLORIDA

SEAL
Nicole P. Stauder
This Seal has been
digitally signed and
verified by Nicole P.
Stauder PE on the date
adjacent to the seal.
A
document is not
considered signed and
sealed and the signature
must be verified in any
electronic dispute.
Nicole P. Stauder
PE # 64720
FL 1/31/2022



| REVISIONS | | | | |
|-----------|---------|-----|----------------------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 1 | 1-25-22 | KJK | REV PER OC & CO. & CITY COMMENTS | |

PROJECT # 50145101
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY CJA
DATE DECEMBER 2021
DATUM NAVD 88
TITLE

EX. DETENTION
POND 7
PROJECT: J:\BKT3\FINAL\PHASE 3
SHEET NO.

C18

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

EX. PHASE 1
DETENTION
POND 7

EX. D604
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 57.30

EX. 72'-38" RCP @ 0.17%

EX. D603
(N1413587.39, E580615.00)
TYPE "J-7T" MANHOLE
TOP 72.40
INV. 64.68(24") (PLUG)
INV. 57.42(36")
CONN. INTO EX. MH.
@ INV. 57.42

EX. 305'-24" HDPE
@ 0.15%
(REMOVE)

NOTE: WHENN PROPOSED OUTFALL IS
CONSTRUCTED THE EXISTING OUTFALL
TO BE REMOVED.

EX. D602 (REMOVE)
(N1413441.98, E580683.47)
TYPE "P-7T" MANHOLE
TOP 72.60
INV. 65.14

SUNFALLS AVENUE

EX. D601
(N1413298.68, E581151.95)
TYPE "J-7T" MANHOLE
TOP 71.37(AB)
INV. 65.58(AB)(24") (PLUG)
INV. 58.38(AB)(36")
CONN. INTO EX. MH.
@ INV. 58.38

PHASE LINE (TYP.)

EX. D700
(N1413288.66, E581411.16)
TYPE "J-7T" MANHOLE
TOP 71.20
INV. 59.09
CONN. INTO EX. MH.
@ INV. 63.50

EX. 68'-38" RCP @ 0.09%

EX. 75'-30" RCP @ 0.12%

EX. D701
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 59.00

EX. D600
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 58.40

EX. DETENTION
POND 16

EAST NOLTE ROAD (PUBLIC)

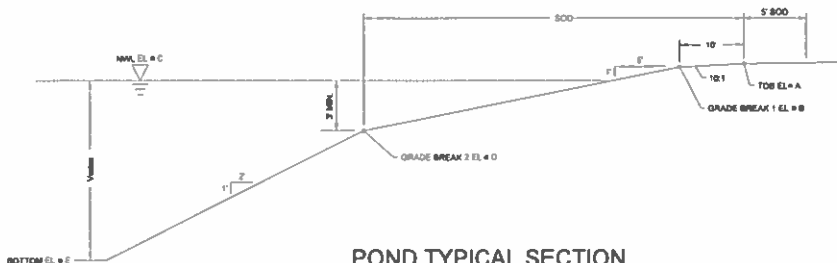
GARDEN GREEN TRAIL

INTERIM CONDITION POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|---------------------|----------------------|----------------------|
| | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
| POND 16 | 69.20 | 69.67 | 70.41 | 70.65 |

FINAL BUILD-OUT POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|---------------------|----------------------|----------------------|
| | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
| POND 16 | 69.50 | 69.83 | 70.63 | 71.04 |



POND TYPICAL SECTION

POND ELEVATIONS

| POND NUMBER | ELEVATION A
(TOB) | ELEVATION B
(GRADE BREAK 1) | ELEVATION C
(NWL) | ELEVATION D
(GRADE BREAK 2) | ELEVATION E
(BOT) |
|-------------|----------------------|--------------------------------|----------------------|--------------------------------|----------------------|
| POND 16 | 71.0 | 70.0 | 67.6 | 63.1 | 40.1 |

- GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LOC ARTICLE 4.5.1.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C09 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C41.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C24-C31.
 8. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C08.
 12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
 14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO FL 32803
PHONE 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASE 3

OSCEOLA COUNTY, FLORIDA

SEAL



KEY PLAN



SCALE

NORTH



REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|----------------------------------|
| 1 | 1-25-22 | KJK | REV PER QC & CO. & CITY COMMENTS |

PROJECT # 50145181
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY CJA
DATE DECEMBER 2021
DATUM NAVD 88

TITLE

EX. DETENTION
POND 16

PROJECT: JMBKNT3/FINAL/PHASE 3
SHEET NO.

C19

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

| | |
|--------|----------------------------|
| L2.10 | IRRIGATION PLAN |
| IR2.31 | IRRIGATION NOTES & DETAILS |

| | | | |
|----------|---|-------|---------------------------|
| C01 | COVER SHEET | L1.00 | OVERALL PLAN |
| C02-C04 | GENERAL NOTES | L1.30 | HARDSCAPE PLAN & DETAILS |
| C05 | PROPERTY SKETCH | L2.01 | STREET TREE PLAN |
| C06 | OMITTED | L2.10 | LANDSCAPE PLAN |
| C07 | EXISTING CONDITIONS PLAN | L2.20 | TURF AREA PLAN |
| C08 | ENVIRONMENTAL IMPACTS PLAN | L2.31 | LANDSCAPE NOTES & DETAILS |
| C09 | DEWATERING PLAN | | |
| C10 | EROSION CONTROL PLAN | | |
| C11 | OVERALL TWIN LAKES SITE PLAN | | |
| C12 | PHASE 4 SITE PLAN | | |
| C13 | GEOMETRY PLAN | | |
| C13A | ENTRANCE DETAIL | | |
| C13B | CETERLINE GEOMETRY | | |
| C14, C15 | LOT & BLOCK GRADING PLANS | | |
| C16, C17 | DRAINAGE OUTFALLS | | |
| C18 | EX. DETENTION POND 13
(Constructed with Phase 2) | | |
| C19 | DETENTION POND 17 | | |
| C20 | UTILITY PLAN | | |
| C21 | SAMPLE POINTS LOCATION PLAN | | |
| C22-C26 | PLAN & PROFILES | | |
| C27 | SIGNAGE & STRIPING PLAN | | |
| C28-C32 | CITY OF ST. CLOUD DETAILS | | |
| C33 | PAVING & DRAINAGE DETAILS | | |
| C34 | TYPICAL SECTIONS & LOT LAYOUT | | |
| C35 | IRRIGATION DETAIL | | |

LEGAL POLICY

LGAL 1654 2007.05.25

NOTES:

1. THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, BOAT DOCKS, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE/RETAINING WALLS.
2. THE CITY OF ST. CLOUD WILL MAINTAIN THE WATER, REUSE WATER, GRAVITY & SANITARY SEWER FORCE MAINS WITHIN THE OSCEOLA COUNTY RIGHT-OF-WAY.
3. CUT AND FILL EARTHWORK FOR THE PROJECT SHALL BALANCE ONSITE AND THERE SHALL BE NO EXPORT OF FILL FROM SITE.
4. ANY PROPOSED ROADWAY LANE CLOSURE MUST BE SUBMITTED IN WRITING ACCOMPANIED BY A SPECIFIC MOT PLAN DETAILING THE SIGNAGE/DETOUR PLAN, DURATION OF THE ROAD CLOSURE, NOTIFICATION OF LOCAL EMERGENCY AND LAW ENFORCEMENT OFFICES, NOTIFICATION OF OSCEOLA COUNTY PUBLIC INFORMATION OFFICE AND ALL AFFECTED LOCAL RESIDENTS MUST BE NOTIFIED OF THE ROAD IN ADVANCE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITY WITHIN THE ROADWAYS. ALL ROADWAY LANE CLOSURE MUST BE DONE IN STAGES WHEREIN ONLY SECTIONS OF ANY COUNTY ROAD WILL BE CLOSED AT A TIME. THIS IS TO KEEP EMERGENCY VEHICLES ROAD ACCESSIBILITY IMPACT TO A MINIMUM.

UTILITY PROVIDERS

SEWER, WATER & RECLAIM

CITY OF ST. CLOUD
1300 9TH STREET
ST. CLOUD, FLORIDA 34769
407-957-7344

POWER/LIGHTING

OUC ELECTRIC
5003 PERSHING AVENUE
ORLANDO, FLORIDA 32822
407-384-4100

TELEPHONE

CENTURYLINK
1359 VINE STREET
KISSIMMEE, FLORIDA 34741
407-390-6302

CABLE

SPECTRUM
3613 GRISSOM LANE
KISSIMMEE, FLORIDA 34741
407-532-8509

GAS

FLORIDA PUBLIC UTILITIES
1705 7TH STREET SW
WINTER HAVEN, FL 33880
863-292-2920

Prepared For

NARCOOSSEE LAND VENTURES, LLC
370 CENTER POINTE CIRCLE
ALTAMONTE SPRINGS, FLORIDA 32701
CONTACT: SCOTT STEARNS

Civil Engineer /Environmental

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9707
CONTACT: NICOLE P. STALDER, P.E., LEED AP

Survey-Boundary & Topographic

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9834
CONTACT: BILL DONLEY, P.S.M.

Geotechnical Engineer

UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: RICARDO C. KIRIAKIDIS, PH.D., P.E.

Traffic Engineer

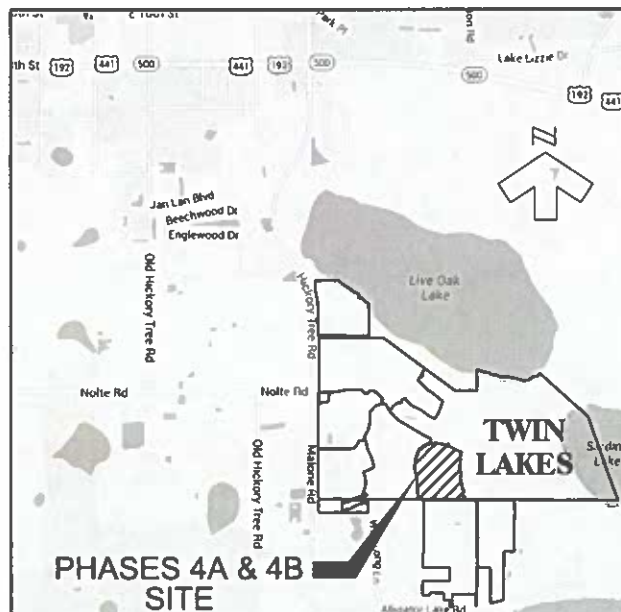
**LUKE TRASPORTATION ENGINEERING
CONSULTUNTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.**

Landscape Architect

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9744
CONTACT: MICHAEL URCHUK

INSURE STATE TICKET NUMBER 138103875

17-26-31-0000-0040-0000



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



**TWIN LAKES
PHASES 4A & 4B**

OSCEOLA COUNTY, FLORIDA



Nicole P Stalder
This item has been
digitally signed and
sealed by Nicole P
Stalder PE on the date
adjacent to the seal.
Printed copies of this
document are not
considered signed or
sealed and the
signature must be
verified on any
electronic copies.
2021.09.02 12:49:00
-CJVV

[illegible]

| | |
|-------------|-----------|
| PROJECT # | 50140217 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | RMJ |
| DATE | JULY 2021 |
| DATUM | NAVD 88 |
| TITLE | |

COVER
SHEET

PROJECT: J.BKNT3/FINAL PHASE 4
SHEET NO.

C01

THIS APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

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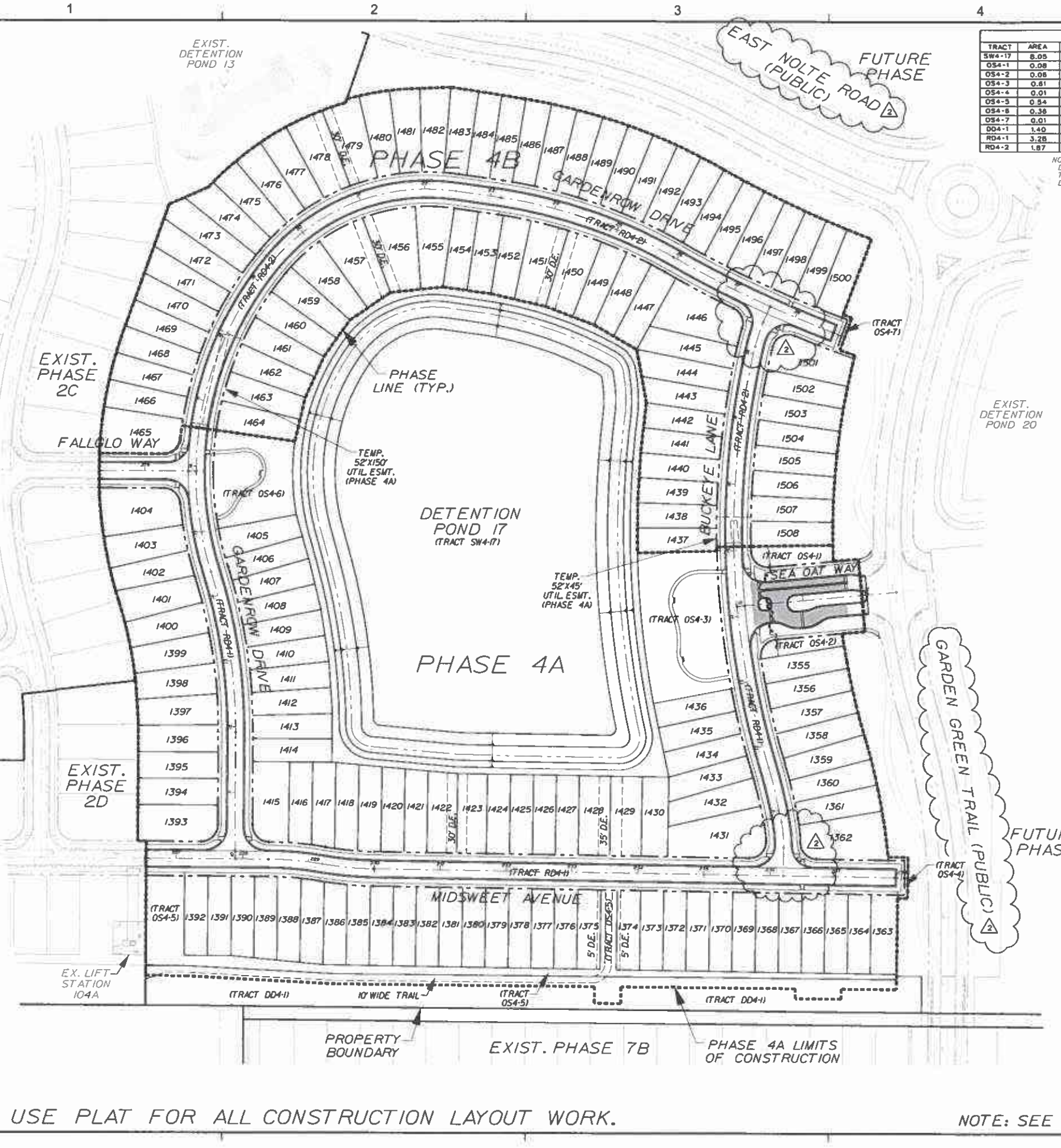
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| TRACT | AREA | DESIGNATION | USE | OWNERSHIP | MAINTENANCE |
|--------|------|----------------|------------------|-----------|-------------|
| SW4-17 | 8.05 | DETENTION POND | POND/OPEN SPACE | CDD | CDD |
| OS4-1 | 0.08 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-2 | 0.08 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-3 | 0.61 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-4 | 0.01 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-5 | 0.34 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-6 | 0.38 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| OS4-7 | 0.01 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| DD4-1 | 1.40 | DRAINAGE DITCH | DITCH/OPEN SPACE | MOA | MOA |
| RD4-1 | 3.28 | ROADWAY | ROADWAY | MOA | MOA |
| RD4-2 | 1.87 | ROADWAY | ROADWAY | MOA | MOA |

NOTE: DITCH TRACT DD4-1 TO BE DEDICATED FOR OWNERSHIP AND MAINTENANCE TO THE HOME OWNERS ASSOCIATION. OSCEOLA COUNTY RESERVES THE RIGHT TO DO MAINTENANCE WITHIN THE TRACT, BUT IS NOT UNDER OBLIGATION TO DO SO.

| SITE DATA | |
|--|--|
| TOTAL PLATTING AREA PHASE 4 | 33.48 AC. |
| TOTAL DEVELOPABLE AREA | 33.48 AC. |
| TOTAL LOTS | 154 LOTS |
| LIMITS OF CONSTRUCTION | PHASE 4A 22.32 AC.
PHASE 4B 10.20 AC. |
| NET DENSITY: 154 LOTS/25.43 (DEVELOPABLE AREA - STORMWATER PONDS) | 6.06 LOTS/AC. |
| EXISTING ZONING | LDR (LOW DENSITY RESIDENTIAL) |
| EXISTING LAND USE | VACANT |
| DEVELOPABLE AREAS | |
| RESIDENTIAL (LOTS) | 17.21 AC. |
| STORMWATER POND | 8.05 AC. |
| PRIVATE STREETS | 5/5 AC. |
| OPEN SPACE (TRACTS OS4-1 TO OS4-7 & DD4-1) | 3.07 AC. |
| TOTAL | 33.48 AC. |
| POND AREA | |
| REQUIRED (15% DEVELOPABLE AREA) | 5.02 AC. (33.48 X 15%) |
| PROVIDED: | 8.05 AC. |
| REQUIRED TREES (DETACHED PRODUCT) | |
| TWO (2) TREES PER LOT | 308 (154 X 2) |
| ONE (1) TREE PER FOURTY (40) LF OF ROAD | 102 (4094 / 40) |
| TOTAL TREES REQUIRED | 410 |
| MINIMUM DETACHED BUILDING SETBACKS | |
| FRONT (TO BLDGS. UNDER A/C) | 10 FT. |
| FRONT (TO FRONT GARAGE) | 25 FT. |
| REAR | 10 FT. |
| SIDE (STREET) | 10 FT. |
| SIDE | 5 FT. |
| POOL/ACCESSORY STRUCTURE | 5 FT. |
| MAXIMUM BUILDING HEIGHT | 3 STORIES |
| MINIMUM LOT WIDTH | 40 FT. |
| MINIMUM LOT AREA | 4000 SQ. FT. |
| OPEN SPACE CALCULATIONS | |
| REQUIRED (20% OF DEVELOPABLE AREA) | 6.70 AC. (33.48 X 20%) |
| PROVIDED: | |
| TRACTS OS4-1 TO OS4-7 & DD4-1 | 3.07 AC. |
| STORMWATER (MAX. 50% OF O.S. REQ'D) | 3.35 AC. |
| SURPLUS OPEN SPACE FROM PHASES 2A & 2B III | 0.28 AC. |
| TOTAL PROVIDED | 6.70 AC. |
| RECREATION CALCULATIONS | |
| REQUIRED: 1 AC./50 LOTS | 3.08 AC. (154 / 50) |
| PROVIDED: | |
| SURPLUS FROM PHASE 1(12) | 1.00 AC. |
| DD4-1 | 1.04 AC. |
| OS4-3 | 0.61 AC. |
| OS4-5 | 0.07 AC. |
| OS4-6 | 0.36 AC. |
| TOTAL | 2.08 ACRES |
| TOTAL RECREATION FOR PHASE IS 308 ACRES | |
| (1) THERE IS 4.21 ACRES OF SURPLUS OPEN SPACE FROM PHASES 2A & 2B. 0.28 ACRES WAS UTILIZED TO MEET THE MINIMUM OPEN SPACE REQUIRED FOR THIS PHASE. | |
| (2) THERE IS 19.53 ACRES OF SURPLUS RECREATION FROM PHASE I(AVAILABLE). ALL 100 ACRES WAS UTILIZED TO MEET THE MINIMUM ACTIVE RECREATION AREA REQUIRED FOR THIS PHASE. | |
| REQUIRED PARKING CALCULATIONS | |
| 4 SPACES OFF STREET PER UNIT | 616 SPACES |
| 1 SPACE ON STREET PER 2 UNITS | 77 SPACES |
| PROVIDED PARKING CALCULATIONS | |
| OFF STREET | 616 SPACES |
| ON STREET | 113 SPACES |

TRAFFIC TRIPS GENERATED
BASED ON 9TH EDITION OF
ITE TRIP GENERATION
REPORT:
DAILY - 1345 (2 WAY)
PEAK - 128 (2 WAY)

LOT MIX
PHASE 4: 70' WIDE DUPLEX LOTS - 154
PHASE 4A - 82
PHASE 4B - 72
LINEAR FEET OF PRIVATE ROADWAY - 4095

NOTE: PER LDC CHAPTER 4, ARTICLE 47JIA, ALL STREETS OR VEHICULAR TRAVELWAYS WITHIN THE UGB SHALL BE LIGHTED AT NIGHT WITH LIGHTS PROVIDING A MINIMUM AVERAGE ILLUMINATION OF 0.2 FOOT CANDLES. STREET LIGHTS SHALL PRESERVE THE AMBIANCE OF THE NIGHT AND RESPECT THE PRIVACY OF NEIGHBORING PROPERTIES BY APPLYING PEDESTRIAN-SCALED FIXTURES. LIGHT POLES SHALL BE NO HIGHER THAN 18 FT WITHIN THE UGB. STREET LIGHTING SHALL BE PERMITTED AND INSTALLED PRIOR TO CERTIFICATION OF COMPLETION.

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.1120
ENGINEERING BUSINESS - 4794

**TWIN LAKES
PHASES 4A & 4B**

OSCEOLA COUNTY, FLORIDA

SEAL

Nicole P. Staller
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electronically signed and
sealed by Nicole P.
Staller PE on the date
adjacent to the seal.
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2021-09-02 14:55:17
0407

SCALE

NORTH

0' 80' 160'

N

REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|----------------|
| 2 | 8-26-21 | KJK | REV PER COUNTY |

PROJECT # 50140217

DRAWN BY KJK

APPROVED BY NPS

CHECKED BY RMJ

DATE JULY 2021

DATUM NAVD 88

TITLE

**PHASE 4
SITE PLAN**

PROJECT: J:\BKN3\FINAL\PHASE 4

SHEET NO.

C12

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOTE: SEE SHEET No. C34 FOR TYPICAL SECTIONS.

PHASE 4B

SEE SHEET No. C15

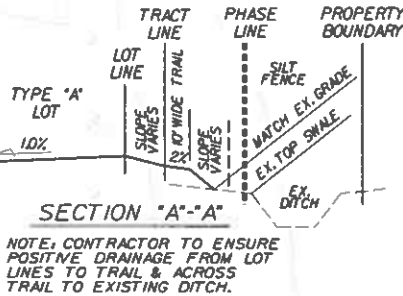
PHASE 4B

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |

DETENTION
POND 17
(TRACT SW4-17)
SEE SHEET No. C19

PHASE 4A



Dewberry

Dewberry Engineers Inc.
300 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.343.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 4A & 4B

OSCEOLA COUNTY, FLORIDA

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Nicole Palmen Stabler
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Stabler on the date
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2021 0503 1301 44
0102

Nicole Palmen Stabler
FL PE # 04720
02/2021

SCALE NORTH

0' 50' 100'

N

REVISIONS

| No. | DATE | BY | Description |
|-----|---------|-----|----------------|
| 2 | 8-28-21 | KJK | REV PER COUNTY |
| 1 | 8-4-21 | KJK | REV PER SFWM |

PROJECT # 50140217

DRAWN BY KJK

APPROVED BY NPS

CHECKED BY RMJ

DATE JULY 2021

DATUM NAVD 88

TITLE

LOT & BLOCK
GRADING PLAN

PROJECT: BKNT3/FINAL/PHASE 4
SHEET NO.

C14

NOTE: SEE SHEET No. C15 FOR GRADING NOTES AND DETAILS.



Nicole P Stalder
This item has been digitally signed and sealed by Nicole P Stalder. The data on the seal. Printed copies of this document are not considered signed unless the seal and the signature must be written on any electronic copies.
2021.09.02 13:03:31 -0400

Ma Pieteren Sladder
FL PE # 54720

SCALE NORTH



REVISIONS

[illegible]

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|-------------|-----------|
| PROJECT # | 50140217 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | RMJ |
| DATE | JULY 2021 |
| DATUM | NAVD 88 |

LOT & BLOCK
GRADING PLAN

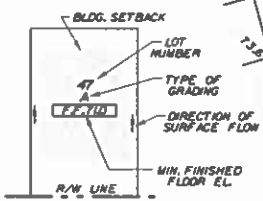
PROJECT JHBKNT3\FINAL\PHASE
SHEET NO.

C15

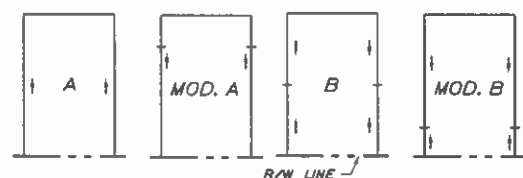
- NOTES.
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 2'-4" ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B/MOD. B LOTS, OR 3'-0" ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LAND ARTICLE 10.
3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-052.
4. 20% GRUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET NO. C/H FOR LIST OF REPORTS FOR THE MOST DEVELOPED CONDITION.
5. FOR CULVERT ROADWAY SECTION SEE SHEET NO. C/34.
6. DRAINAGE TRACTS/EASEMENTS WILL BE OWNED & MAINTAINED BY THE MOA/CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY. PROJECT.
7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEETS NO. C/6, C/7 & C/22-C/26.
9. IF ANY SOD OF OVER 100 FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT, IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR PAVED SIDEWALK SHALL BE SODDED WITH SOD.
10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET NO. C/10.
13. SEE LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERRING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

TYPICAL LOT LAYOUT



SEE SHEET No. C14



LOT GRADING TYPE A

LOT GRADING TYPE MOD.A

LOT GRADING TYPE MOD.B

LOT GRADING TYPE B

TYPICAL FHA GRADING

MAXIMUM IMPERVIOUS AREA PER LOT
35' LOTS - 2900 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS

2 NOTE: ENTIRE SWALE AREA TO BE REMOVED WILL BE DEWATERED AND ALL UNSUITABLE SUBSOIL SUCH AS MUCK, CLAY AND/OR ROCK WILL BE EXCAVATED AND REMOVED.

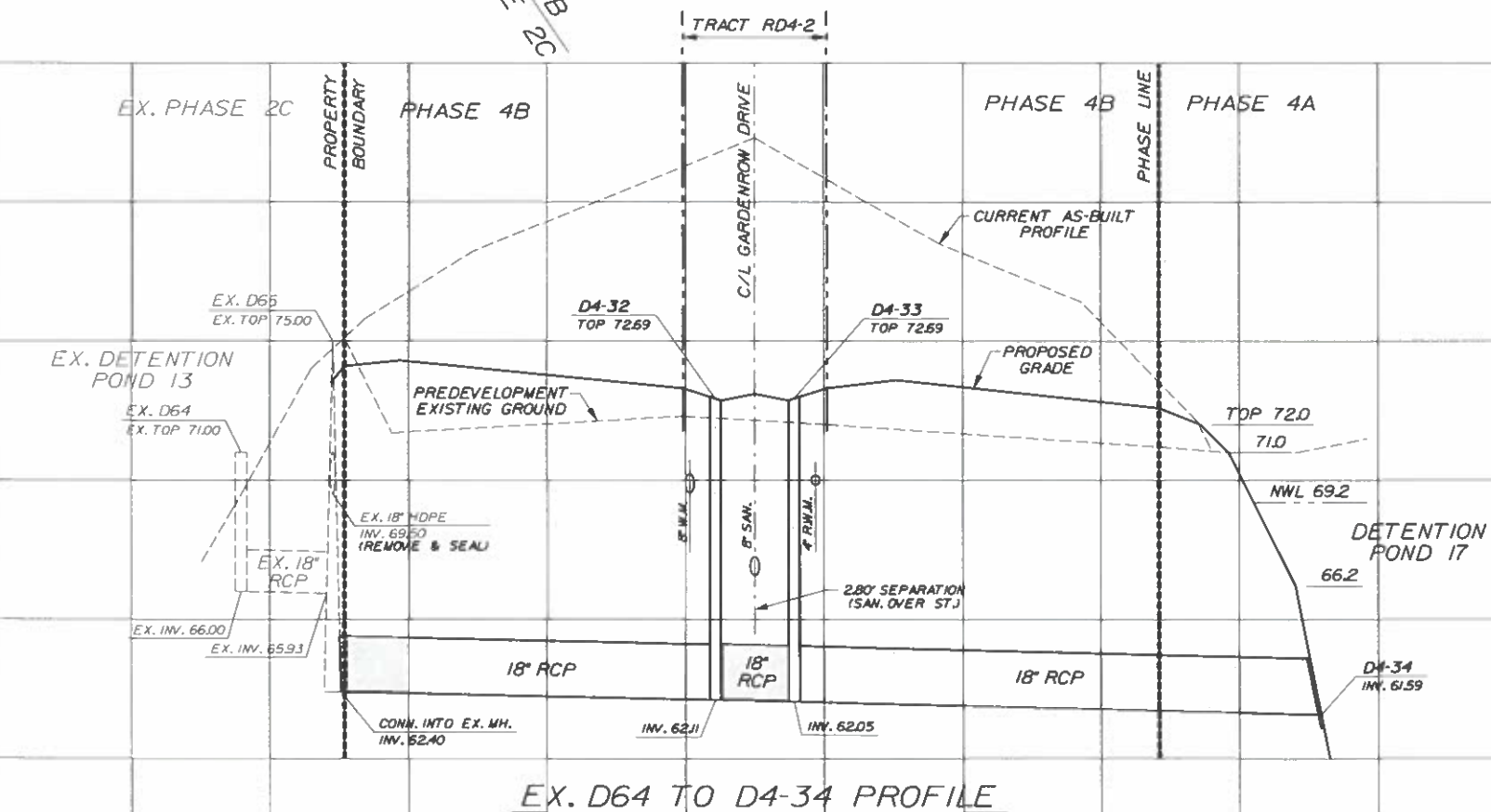
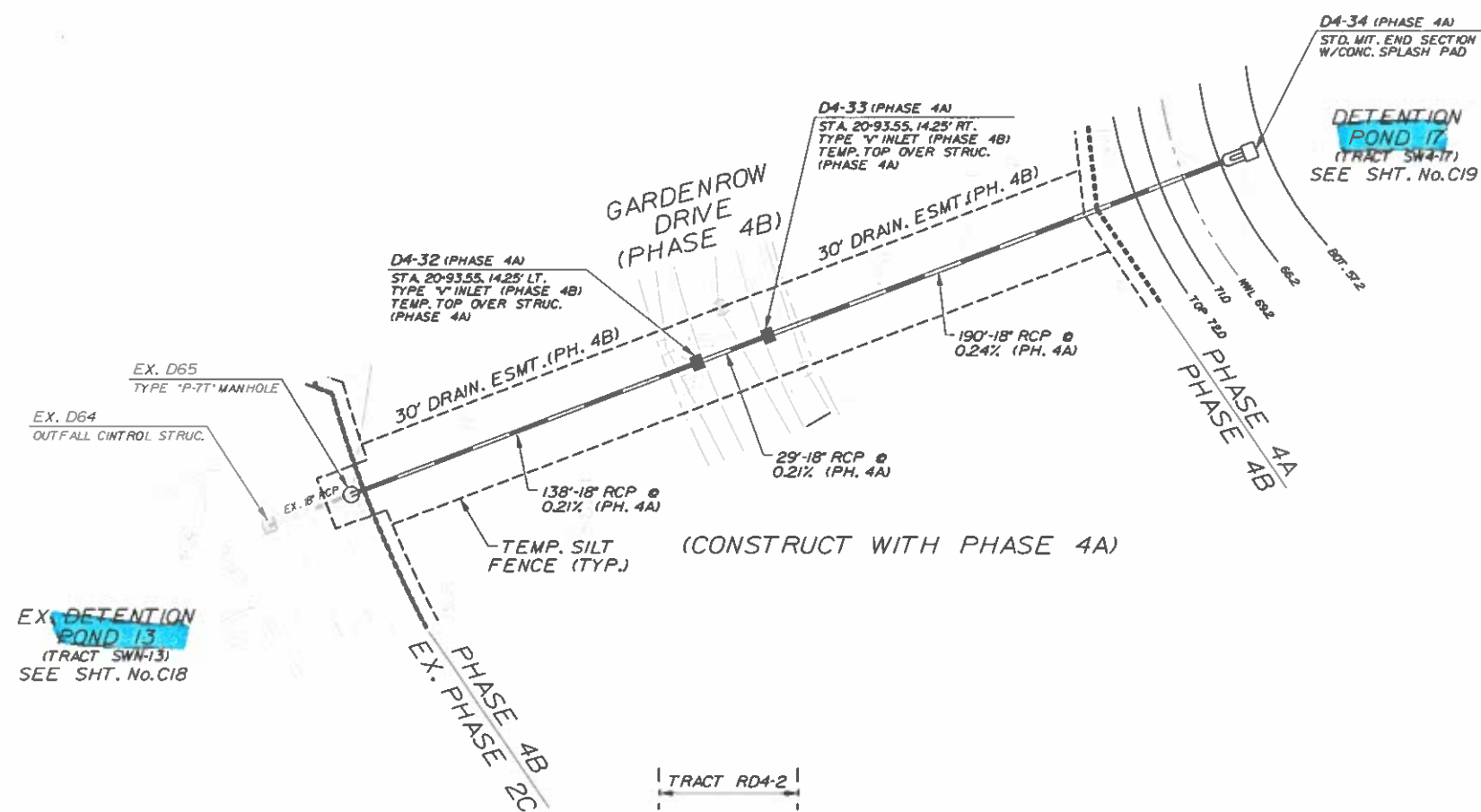
LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | D3 |
| SPOT ELEVATION | | 8.42 |
| LOT GRADING | | PROP |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SWMT CONTOURS | | 74 |

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

[illegible]

MIT TALKS **WINTER 2014** **CONTRIBUTING PARTS**



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS -8794

**TWIN LAKES
PHASES 4A & 4B**

OSCEOLA COUNTY, FLORIDA

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Nicole P Stalder
FL PE # 84720

KEY PLAN



SCALE

SCALE NORTH

0' 30' 60'



REVISIONS

[illegible]

PROJECT # 50140217

DRAWN BY: K.K.

APPROVED BY NDS

CHECKED BY: BMJ

CHECKED BY: FWJ
DATE: JUNE 2004

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|------|---------------|
| DATE | JUNE 20, 1966 |
| DAY | MONDAY |

TITLE

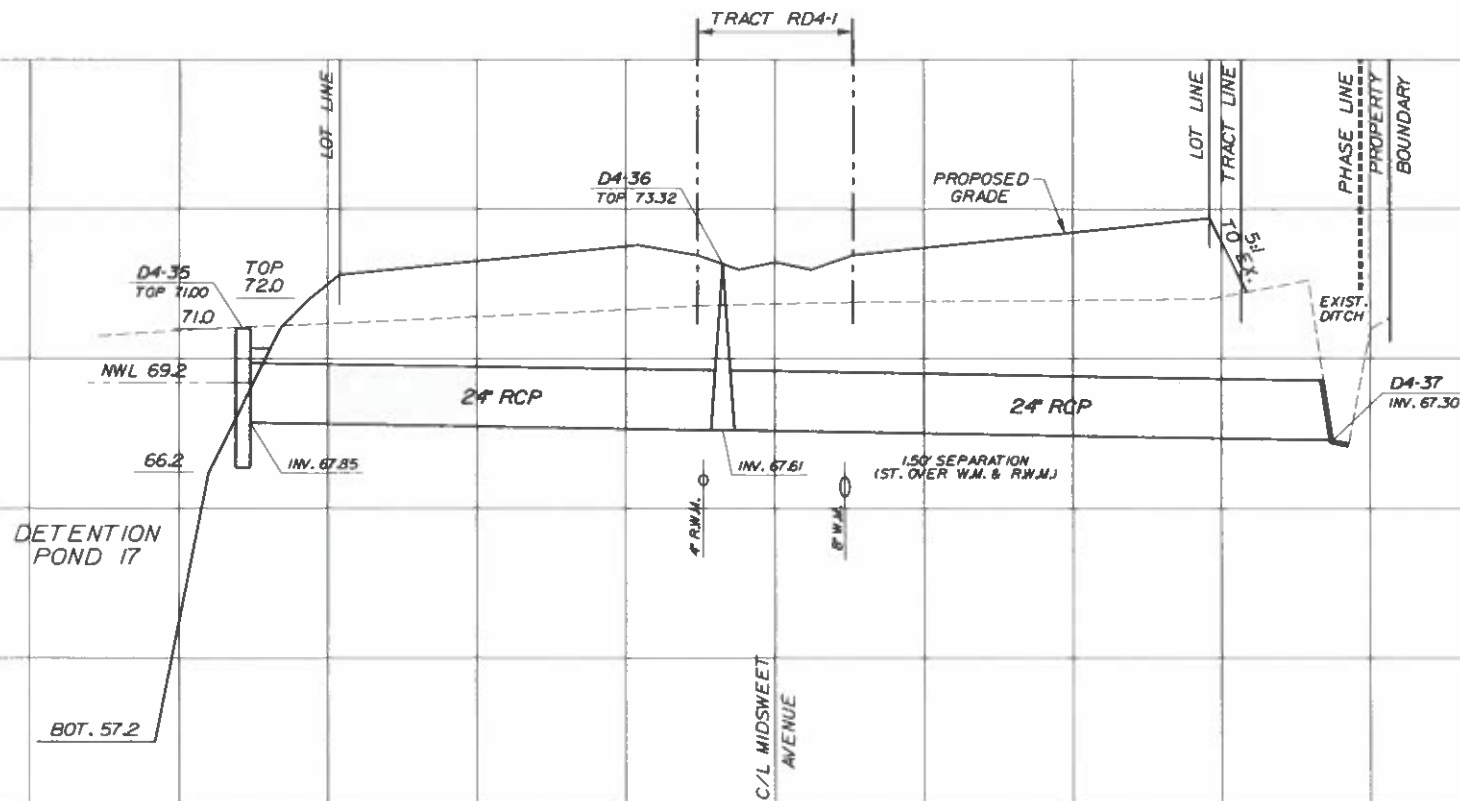
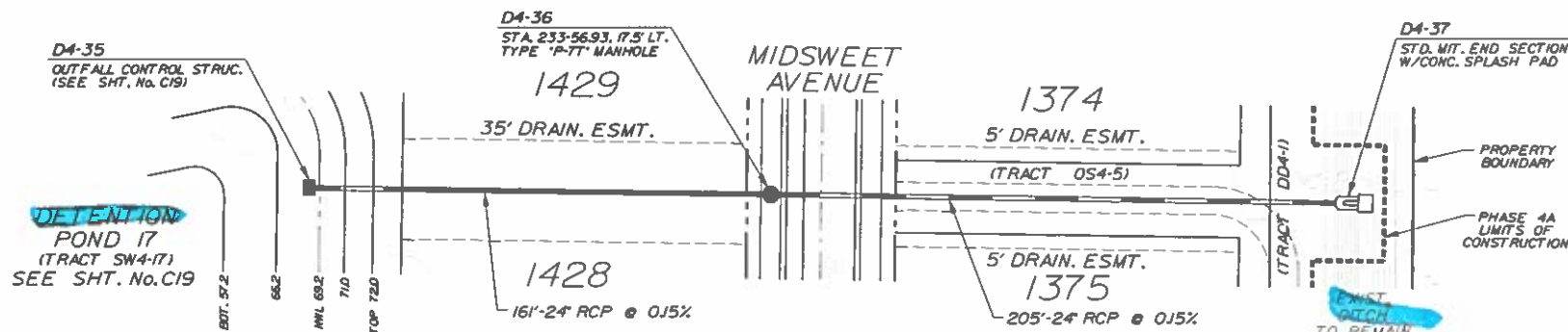
DRAINAGE OUTFALL

PROJECT: IRVING FINAL PHASE 4

PROJECT _____

C16

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



D4-35 TO D4-37 PROFILE



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 4A & 4B

OSCEOLA COUNTY, FLORIDA

SEAL



KEY PLAN



SCALE

NORTH



REVISIONS

| No. | DATE | BY | Description |
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PROJECT # 50140217
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE JUNE 2021
DATUM NAVD 88

TITLE

DRAINAGE
OUTFALL

PROJECT: JMBKNT3\FINAL\PHASE 4
SHEET NO.

C17

EX. DETENTION
POND 13
(TRACT SWN-13)

EXIST.
PHASE 2C

PHASE 4B

PHASE 4A

- GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C11 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C34.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CCD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C16, C17 & C22-C26.
 8. STRIP SOD OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C10.
 12. CONTRACTOR TO RESOD ALL DISTURBED POND BANKS DUE TO GRADING OR PIPE INSTALLATION.

EX. TOP 75.00

EX.
TYPE "P-7T"
MANHOLE

REMOVE & SEAL
EX. INV. 69.50
(TEMP. 18" HDPE)

EX. INV. 65.93(18" RCP)

CONNECT INTO
EX. INV. 62.40(18" RCP)

EX. D65

EX. D64
OUTFALL CONTROL STRUCTURE
(SEE DETAIL)

EX. 33" 18" RCP @ 0.21%

EX. 24" 18" HDPE
@ 0.00% (REMOVE)

EX. D66 (REMOVE)
STD. MIT. END SECTION
W/CONC. SPLASH PAD
INV. 69.50

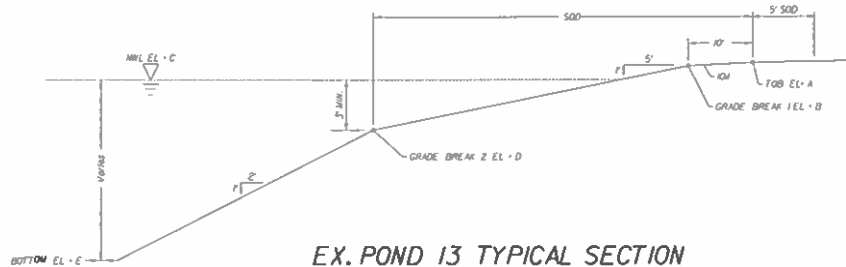
EX. D65
TYPE "P-7T" MANHOLE
TOP 75.00
INV. 65.93(18" RCP)
INV. 69.50(TEMP. 18" HDPE) REMOVE & SEAL
INV. 62.40(18" RCP) CONNECT INTO

TEMP. SILT
FENCE (TYP.)

PHASE
LINE (TYP.)

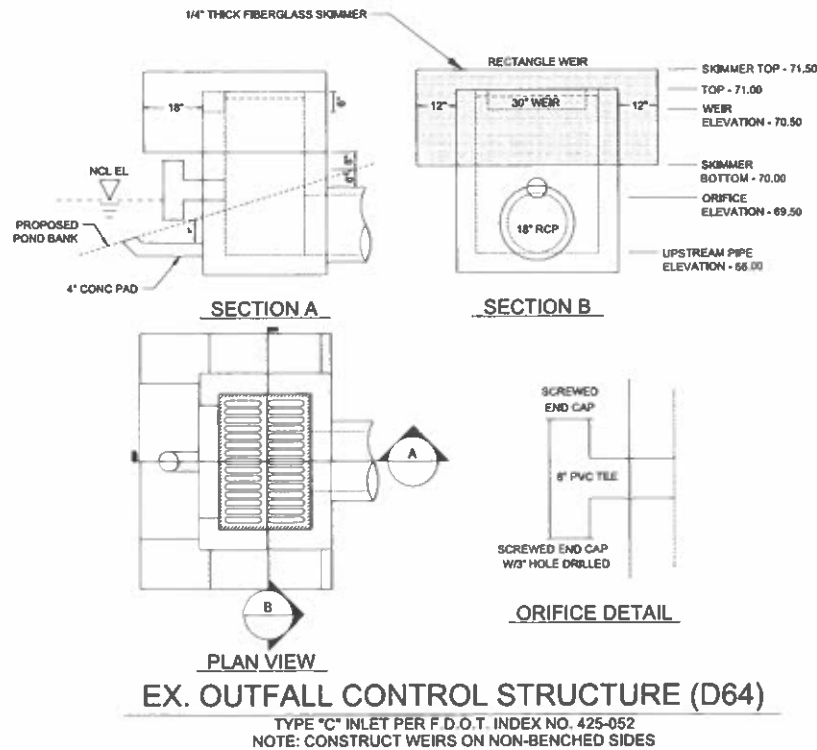
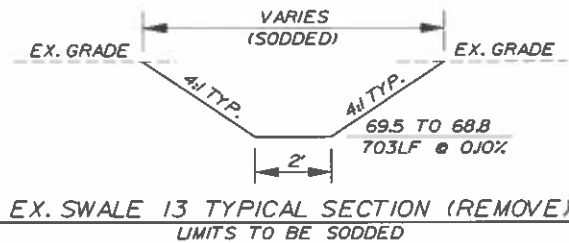
EX. SWALE 13
(REMOVE)

DETENTION
POND 17
(TRACT SW4-17)

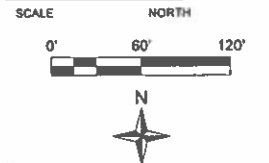


| POND ELEVATIONS | | | | | |
|-----------------|----------------------|--------------------------------|----------------------|--------------------------------|----------------------|
| POND NUMBER | ELEVATION A
(TOB) | ELEVATION B
(GRADE BREAK 1) | ELEVATION C
(NWL) | ELEVATION D
(GRADE BREAK 2) | ELEVATION E
(BOT) |
| POND 13 | 73.5 | 72.5 | 69.5 | 66.5 | 47.0 |

| POND DESIGN STAGES | | | | |
|--------------------|------------------------------|---------------------|----------------------|----------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
| POND 13 | 70.79 | 71.16 | 72.15 | 72.44 |



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PROJECT # 50143217
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE JUNE 2021
DATUM NAVD 88

TITLE
EX. DETENTION
POND 13
(CONSTRUCTED
W/PHASE 2)

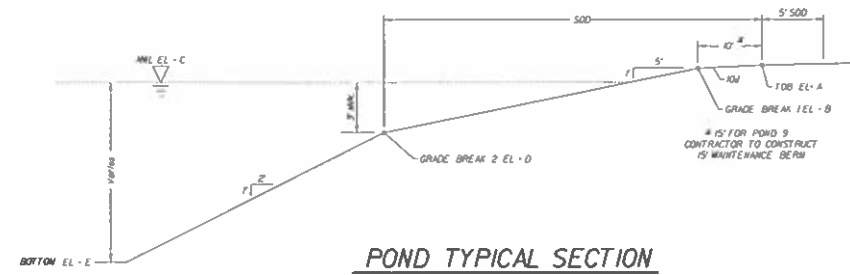
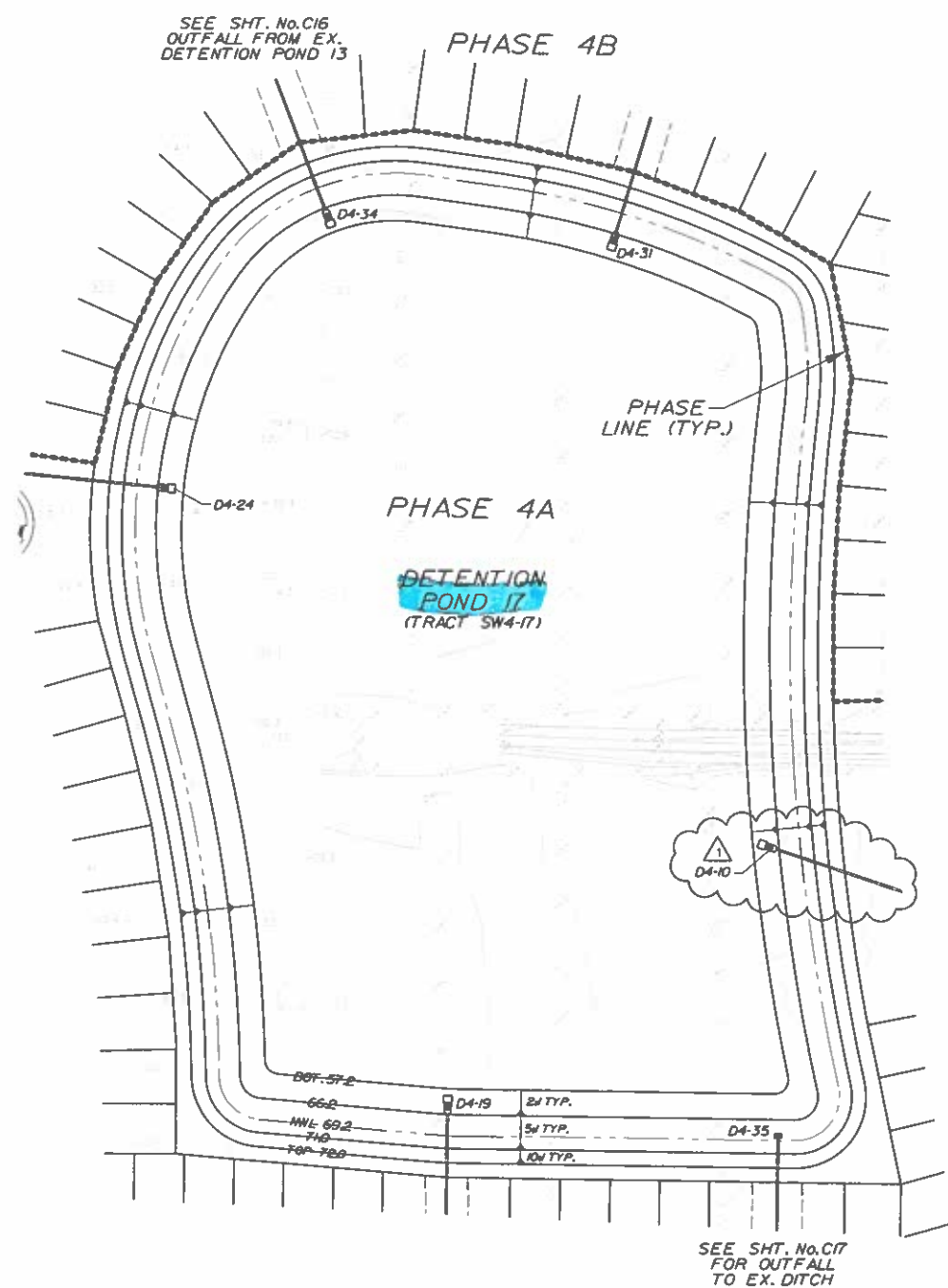
PROJECT: J:\BOKT3\FINAL\PHASE 4
SHEET NO.

C18

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

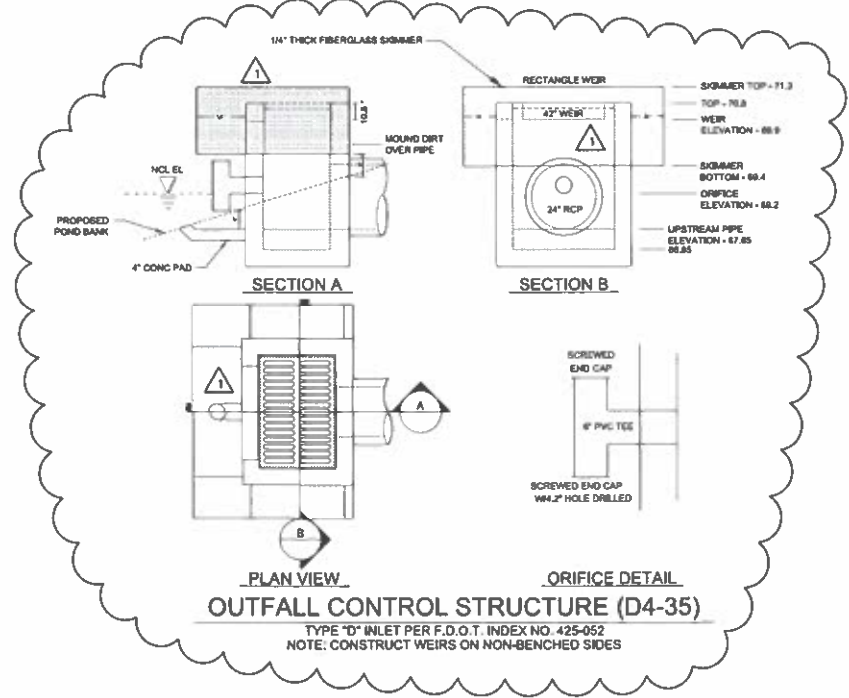
SDP21-0110
11/16/2021
Osceola County
Community Development

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| POND ELEVATIONS | | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
| POND 17 | 72.0 | 71.0 | 69.2 | 64.2 | 57.2 |

| POND DESIGN STAGES | | | | |
|--------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 17 | 70.41 | 70.74 | 71.57 | 71.86 |



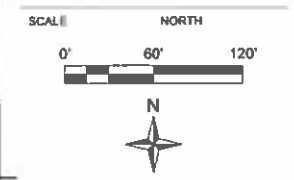
Dewberry
Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE 407.843.5120
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 4A & 4B

OSCEOLA COUNTY, FLORIDA

SEAL
No. 64720
STATE OF FLORIDA
Professional Engineer
Nicole Peterson Stalder
FL PE # 64720
8/22/2021

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7021.0903 13.04.30-05/07



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|-----------|--------|-----|--------------|
| No. | DATE | BY | Description |
| 1 | 8-4-21 | KJK | REV PER SFWM |

PROJECT # 50140217
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE JULY 2021
DATUM NAVD 86

TITLE
DETENTION POND 17
PROJECT: J:\BENT3\FINAL\PHASE 4
SHEET NO.

C19

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

Drawing Index

Civil

| | |
|---------------|-------------------------------------|
| C01 | COVER SHEET |
| C02-C04 | GENERAL NOTES |
| C05 | OMITTED |
| C06 | PROPERTY SKETCH |
| C07 | PROPERTY SKETCH EXHIBIT |
| C08 | EXISTING CONDITIONS PLAN |
| C09 | ENVIRONMENTAL IMPACTS PLAN |
| C09A | DEWATERING PLAN |
| C10 | RIGHT OF WAY/EASEMENT VACATION PLAN |
| C11, C12 | EROSION CONTROL PLANS |
| C13 | OVERALL TWIN LAKES SITE PLAN |
| C14 | PHASE 7 SITE PLAN |
| C15, C16 | GEOMETRY PLANS |
| C17 | OMITTED |
| C18-C20 | LOT & BLOCK GRADING PLANS |
| C20A, C20B | DRAINAGE OUTFALLS PHASE 7A |
| C21 | DETENTION POND 24 PHASE 7A |
| C22 | DETENTION POND 27 PHASE 7A |
| C23, C24 | UTILITY PLANS |
| C25, C26 | SAMPLE POINTS LOCATION PLANS |
| C27 | PLAN & PROFILE KEY MAP |
| C28-C33, | PLAN & PROFILES |
| C33A, C34-C39 | |
| C40, C41 | SIGNAGE & STRIPING PLANS |
| C42-C48 | CITY OF ST. CLOUD DETAILS |
| C47 | PAVING & DRAINAGE DETAILS |
| C48 | TYPICAL SECTIONS & LOT LAYOUTS |
| C49, C50 | ouc LIGHTING PLANS |

Landscape

| | |
|-------|-----------------|
| L2.00 | OVERALL PLAN |
| L2.10 | LANDSCAPE PLAN |
| L2.11 | LANDSCAPE PLAN |
| L2.12 | LANDSCAPE PLAN |
| L2.13 | LANDSCAPE PLAN |
| L2.20 | LANDSCAPE PLAN |
| L3.11 | NOTES & DETAILS |

Irrigation

| | |
|---------------|----------------------------|
| IR2.00 | OVERALL PLAN |
| IR2.10-IR2.13 | IRRIGATION PLANS |
| IR3.00 | IRRIGATION NOTES & DETAILS |

LEGAL DESCRIPTION:

PHASE 7

A PORTION OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 31 EAST, TOGETHER WITH A PORTION OF LOTS 7 AND 8 AND THAT PLATTED UNNAMED RIGHT OF WAY LYING NORTHERLY THEREOF, THE SEMINOLE LAND AND INVESTMENT COMPANY'S (INCORPORATED) SUBDIVISION OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 31 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 26, OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE RUN S89°38'45"E ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD (VARIABLE RIGHT OF WAY WIDTH) PER OFFICIAL RECORDS BOOK 3953, PAGE 1367, PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA; THENCE RUN ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES; THENCE S 00°13'55" W, A DISTANCE OF 68.79 FEET; THENCE S 89°59'46" W, A DISTANCE OF 10.00 FEET; THENCE S 00°13'55" W, A DISTANCE OF 290.20 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST RIGHT OF WAY LINE RUN S 89°46'05" E, A DISTANCE OF 30.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 32.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 31°45'25", A CHORD BEARING OF N 74°21'02" E AND A CHORD DISTANCE OF 20.79 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 21.06 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 71.00 FEET, A CENTRAL ANGLE OF 55°32'04", A CHORD BEARING OF N 62°27'43" E AND A CHORD DISTANCE OF 66.16 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 68.82 FEET TO THE END OF SAID CURVE; THENCE S 89°45'55" E, A DISTANCE OF 141.46 FEET; THENCE N 00°13'55" E, A DISTANCE OF 141.77 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 71.00 FEET, A CENTRAL ANGLE OF 55°59'32", A CHORD BEARING OF N 28°06'50" E AND A CHORD DISTANCE OF 66.66 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 69.38 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 41°08'22", A CHORD BEARING OF N 20°41'15" E AND A CHORD DISTANCE OF 26.70 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 27.28 FEET TO THE END OF SAID CURVE; THENCE S 89°46'05" E, A DISTANCE OF 28.63 FEET; THENCE N 00°13'55" E, A DISTANCE OF 9.50 FEET; THENCE S 89°46'05" E, A DISTANCE OF 5.63 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 743.00 FEET, A CENTRAL ANGLE OF 13°33'58", A CHORD BEARING OF N 83°26'56" E AND A CHORD DISTANCE OF 175.51 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 175.52 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 1385.00 FEET, A CENTRAL ANGLE OF 13°20'03", A CHORD BEARING OF N 83°19'59" E AND A CHORD DISTANCE OF 321.60 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 322.32 FEET TO A POINT OF TANGENCY; THENCE N 90°00'00" E, A DISTANCE OF 222.06 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 67°31'24", A CHORD BEARING OF S 56°14'18" E AND A CHORD DISTANCE OF 66.69 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 70.71 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 14°28'11", A CHORD BEARING OF S 15°14'30" E AND A CHORD DISTANCE OF 46.60 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 46.72 FEET TO THE END OF SAID CURVE; THENCE N 90°00'00" E, A DISTANCE OF 111.80 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 60.00 FEET, A CENTRAL ANGLE OF 85°20'36", A CHORD BEARING OF N 42°40'18" E AND A CHORD DISTANCE OF 81.34 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 89.37 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 185.00 FEET, A CENTRAL ANGLE OF 28°10'48", A CHORD BEARING OF S 80°34'00" E AND A CHORD DISTANCE OF 90.07 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 90.99 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 445.00 FEET, A CENTRAL ANGLE OF 36°14'21", A CHORD BEARING OF S 48°21'26" E AND A CHORD DISTANCE OF 276.79 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 281.46 FEET TO A POINT OF TANGENCY; THENCE S 30°14'15" E, A DISTANCE OF 35.69 FEET; THENCE S 59°45'45" W, A DISTANCE OF 65.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 90.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 35.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 20.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 20.00 FEET; THENCE N 30°14'15" W, A DISTANCE OF 20.00 FEET; THENCE N 59°45'45" E, A DISTANCE OF 10.00 FEET; THENCE S 30°14'15" E, A DISTANCE OF 163.67 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 855.00 FEET, A CENTRAL ANGLE OF 29°18'04", A CHORD BEARING OF S 44°53'17" E AND A CHORD DISTANCE OF 432.50 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 437.25 FEET TO A POINT OF TANGENCY; THENCE S 59°32'19" E, A DISTANCE OF 627.88 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 1055.00 FEET, A CENTRAL ANGLE OF 11°41'45", A CHORD BEARING OF S 65°23'10" E AND A CHORD DISTANCE OF 214.97 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 215.35 FEET TO THE END OF SAID CURVE; THENCE S 18°43'11" E, A DISTANCE OF 108.59 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 447.00 FEET, A CENTRAL ANGLE OF 31°28'09", A CHORD BEARING OF S 58°14'17" W AND A CHORD DISTANCE OF 243.44 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 246.55 FEET TO THE END OF SAID CURVE; THENCE S 66°43'12" W, A DISTANCE OF 64.74 FEET; THENCE S 19°48'38" W, A DISTANCE OF 186.31 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 18°19'10", A CHORD BEARING OF S 11°44'35" W AND A CHORD DISTANCE OF 205.99 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 206.87 FEET TO THE END OF SAID CURVE; THENCE S 00°16'49" W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 15°26'18", A CHORD BEARING OF S 09°44'31" E AND A CHORD DISTANCE OF 173.81 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 174.33 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 647.00 FEET, A CENTRAL ANGLE OF 10°56'36", A CHORD BEARING OF S 11°59'22" E AND A CHORD DISTANCE OF 123.39 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 123.57 FEET TO THE END OF SAID CURVE; THENCE S 03°52'35" E, A DISTANCE OF 62.76 FEET; THENCE S 00°16'49" W, A DISTANCE OF 179.69 FEET; THENCE S 89°43'11" E, A DISTANCE OF 12.80 FEET; THENCE S 00°16'49" W, A DISTANCE OF 247.76 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE N 89°43'11" W ALONG SAID SOUTH LINE A DISTANCE OF 1208.70 FEET TO THE NORTHEAST CORNER OF THE AFOREMENTIONED LOT 7; THENCE RUN S00°25'24"W ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 331.31 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN N89°44'39"W ALONG THE SOUTH LINE OF SAID LOTS 7 AND 8, A DISTANCE OF 1198.80 FEET TO THE AFORESAID EAST RIGHT OF WAY LINE OF HICKORY TREE ROAD; THENCE RUN ALONG SAID EAST RIGHT OF WAY THE FOLLOWING THREE (3) COURSES AND DISTANCES; N00°27'37"E, A DISTANCE OF 0.94 FEET; THENCE RUN N89°32'12"W, A DISTANCE OF 15.00 FEET; THENCE RUN N00°27'16"E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 330.83 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 17; THENCE CONTINUE ALONG SAID EAST RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES; N 00°13'55" E, A DISTANCE OF 1266.45 FEET; THENCE N 89°46'37" W, A DISTANCE OF 10.00 FEET; THENCE N 00°13'55" E, A DISTANCE OF 1014.41 FEET TO THE POINT OF BEGINNING CONTAINING: 140.497 ACRES MORE OR LESS.

NOTES:

1. THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, BOAT DOCKS, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE/RETAINING WALLS.
2. THE CITY OF ST. CLOUD WILL MAINTAIN THE WATER, REUSE WATER, GRAVITY & SANITARY SEWER FORCE MAINS WITHIN THE OSCEOLA COUNTY RIGHT-OF-WAY.
3. CUT AND FILL EARTHWORK FOR THE PROJECT SHALL BALANCE ONSITE AND THERE SHALL BE NO EXPORT OF FILL FROM SITE.
4. ANY PROPOSED ROADWAY LANE CLOSURE MUST BE SUBMITTED IN WRITING ACCOMPANIED BY A SPECIFIC MOT PLAN DETAILING THE SIGNAGE/DETOUR PLAN, DURATION OF THE ROAD CLOSURE, NOTIFICATION OF LOCAL EMERGENCY AND LAW ENFORCEMENT OFFICES, NOTIFICATION OF OSCEOLA COUNTY PUBLIC INFORMATION OFFICE AND ALL AFFECTED LOCAL RESIDENTS MUST BE NOTIFIED OF THE ROAD IN ADVANCE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITY WITHIN THE ROADWAYS. ALL ROADWAY LANE CLOSURE MUST BE DONE IN STAGES WHEREIN ONLY SECTIONS OF ANY COUNTY ROAD WILL BE CLOSED AT A TIME. THIS IS TO KEEP EMERGENCY VEHICLES ROAD ACCESSIBILITY IMPACT TO A MINIMUM.

UTILITY PROVIDERS

SEWER, WATER & RECLAIM

CITY OF ST. CLOUD
1300 9TH STREET
ST. CLOUD, FLORIDA 34769
407-957-7344

POWER/LIGHTING

ouc ELECTRIC
5003 PERSHING AVENUE
ORLANDO, FLORIDA 32822
407-384-4100

TELEPHONE

CENTURYLINK
1359 VINE STREET
KISSIMMEE, FLORIDA 34741
407-390-6302

CABLE

SPECTRUM
3613 GRISSOM LANE
KISSIMMEE, FLORIDA 34741
407-532-8509

GAS

FLORIDA PUBLIC UTILITIES
1705 7TH STREET SW
WINTER HAVEN, FL 33880
863-292-2920

Prepared For

NARCOOSSEE LAND VENTURES, LLC
370 CENTER POINTE CIRCLE
ALTAMONTE SPRINGS, FLORIDA 32701
CONTACT: SCOTT STEARNS

Civil Engineer /Environmental

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9707
CONTACT: NICOLE P. STALDER, P.E., LEED AP

Survey-Boundary & Topographic

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9834
CONTACT: BILL DONLEY, P.S.M.

Geotechnical Engineer

UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: RICARDO C. KIRIAKIDIS L., PH.D., P.E.

Traffic Engineer

LUKE TRASPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.

Landscape Architect

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9744
CONTACT: MICHAEL URCHUK

SUNSHINE STATE TICKET NUMBER 275912031

TWIN LAKES

PHASES 7A & 7B

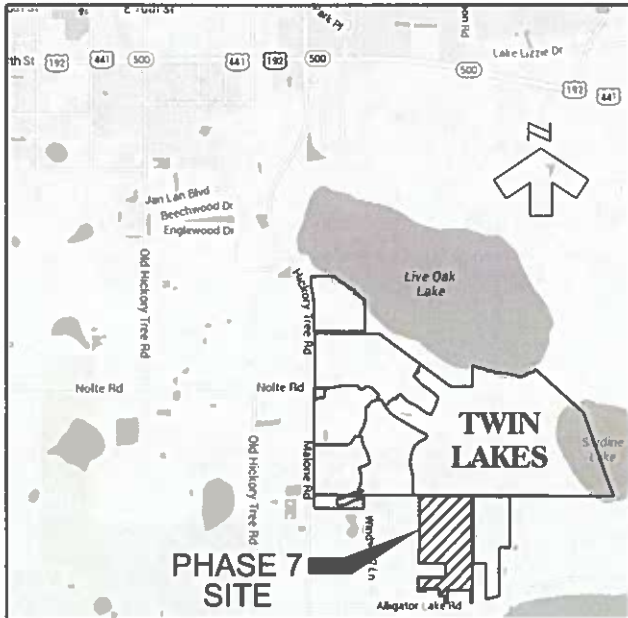
Osceola County, Florida CONSTRUCTION PLANS

Submittal: FEBRUARY 2021

Revised: OCTOBER 2021

Parcel ID. Numbers

20-26-31-0000-0031-0000,
20-26-31-4950-0001-0020,
20-26-31-0000-0010-0000



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.354.9700
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 7A & 7B

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Stalder
This seal has been
electronically signed and
sealed by Nicole P. Stalder
on the date
adjacent to the seal.
Printed copies of this
document are not
considered signed and
sealed and the
signature must be
verified on any
electronic copies.
3621 18115113056
dps

REVISIONS

| No. | DATE | BY | Description |
|-----|---------|-----|------------------|
| 3 | 9-30-21 | KJK | FIELD REVISION |
| 2 | 6-1-21 | KJK | REV PER COMMENTS |
| 1 | 4-1-21 | KJK | REV PER COMMENTS |

PROJECT # 50114403
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE FEBRUARY 2021
DATUM NAVD 88

TITLE

COVER SHEET

PROJECT: J:\BKNT3\FINAL\PHASE 7

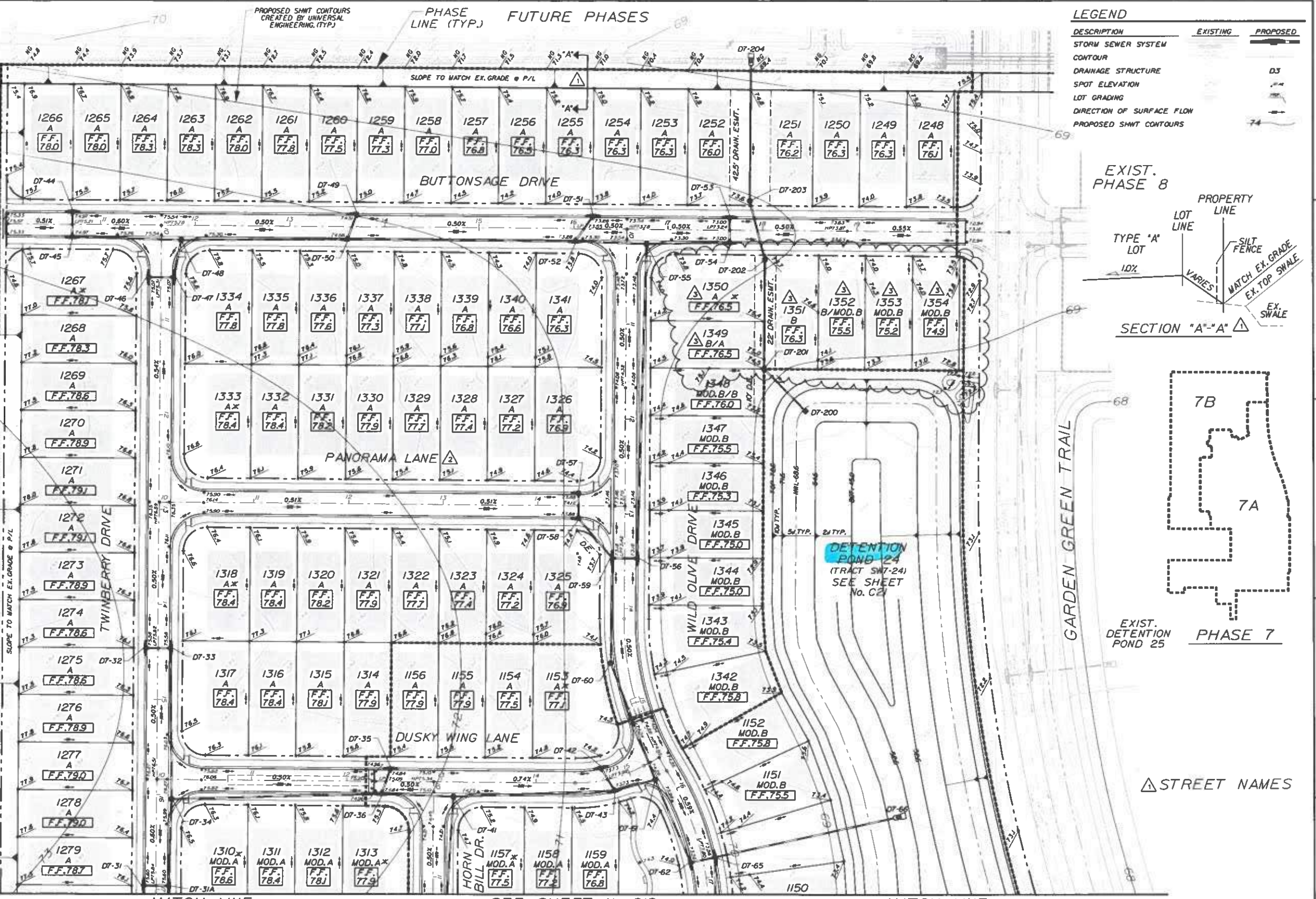
SHEET NO.

C01

THIS APPROVAL IS SUBJECT TO SPECIFIC CONDITIONS. THE OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE DESIGNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

SDP21-0036
11/16/2021
Osceola County
Community Development

SDP21-0036
11/16/2021
Osceola County
Community Development



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

NOTE: SEE SHEET No. C19 FOR GRADING NOTES AND DETAILS.

MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS

TYPICAL SECTION @ LOT LINE
NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.7' BELOW FINISHED FLOOR ELEV.

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |

EXIST. PHASE 8

PROPERTY LINE

LOT LINE

TYPE 'A' LOT

VARIES

10%

SECTION "A-A"

10%

PROPERTY LINE

LOT LINE

TYPE 'A' LOT

VARIES

10%

SECTION "A-A"

10%

7B

7A

PHASE 7

EXIST. DETENTION POND 25

STREET NAMES

LOT & BLOCK GRADING PLAN

C18

Dewberry

Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS 4794

SEAL

Nicole P. Saylor
This Seal has been
digitally signed and
sealed by Nicole P.
Saylor PE on the
date adjacent to the
seal. Printed copies
of this document are
not considered
signed and sealed
and the signature
must be verified on
any electronic copies
2021/10/13 13:27:27
FL PE # 04720
10/13/2021

KEY PLAN

SCALE

0' 50' 100'

NORTH

REVISIONS

| No. | DATE | BY | Description |
|-----|---------|-----|-----------------------|
| 3 | 9-30-21 | KJK | FIELD REVISION |
| 2 | 6-1-21 | KJK | REV PER COMMENTS & QA |
| 1 | 4-1-21 | KJK | REV PER COMMENTS |

PROJECT # 50114403

DRAWN BY KJK

APPROVED BY NPS

CHECKED BY RMJ

DATE FEBRUARY 2021

DATUM NAVD 88

TITLE

MATCH LINE

SEE SHEET No. C18

MATCH LINE

EXIST.
DETENTION
POND 25

EXIST.
PHASE 8

Dewberry
Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.1329
ENGINEERING BUSINESS 3794

TWIN LAKES
PHASES 7A & 7B

OSCEOLA COUNTY, FLORIDA

SEAL



KEY PLAN



SCALE NORTH



REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|-----------------------|
| 3 | 9-30-21 | KJK | FIELD REVISION |
| 2 | 8-1-21 | KJK | REV PER COMMENTS & QA |
| 1 | 4-1-21 | KJK | REV PER COMMENTS |

PROJECT # 50114403
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE FEBRUARY 2021
DATUM NAVD 88

TITLE

LOT & BLOCK
GRADING PLAN

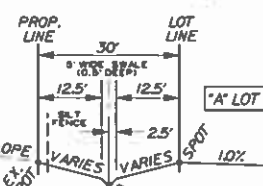
PROJECT: J:\BENT3\FINAL\PHASE 7
SHEET NO.

C19

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |

MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
AREA INCLUDES WALKWAYS AND DRIVEWAYS



SECTION "A"-"A"

STREET NAMES

NOTE: EX. DITCH TO REMAIN UNTIL BY-PASS
STORM SYSTEM IS CONSTRUCTED AND
OPERATIONAL (EX. D101 TO D7-97).

NOTE: SEE SHEET No. C20 FOR
GRADING NOTES AND DETAILS.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

THIS APPROVAL IS SUBJECT TO THE OSCEOLA COUNTY ZONING CODE AND ANY OTHER REGULATORY CODES THAT MAY BE APPLICABLE TO THE PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE DEVELOPER SHALL MAINTAIN THE PROPOSED SWMT CONTOURS CREATED BY UNIVERSAL ENGINEERING, (TYP.)

NOTHING HEREIN SHALL BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

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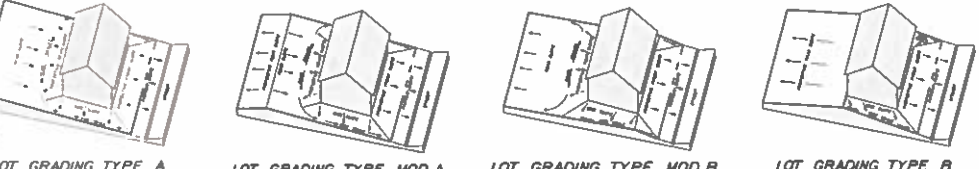
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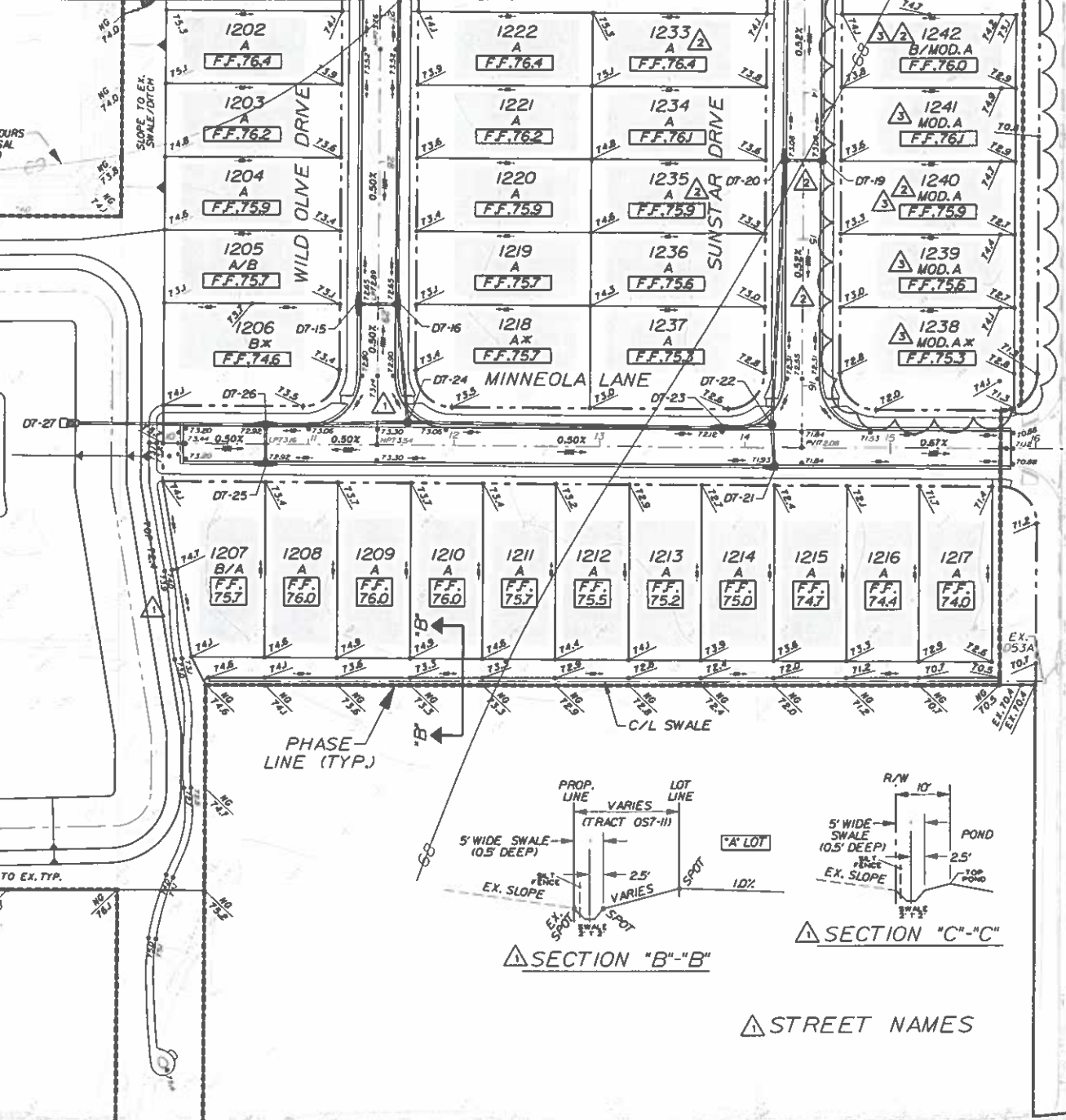
TYPICAL FHA GRADING

PROPOSED SWMT CONTOURS
CREATED BY UNIVERSAL
ENGINEERING, (TYP.)

MATCH LINE

SEE SHEET No. C19

MATCH LINE



GARDEN GREEN TRAIL

54 TO EX. TYP.

54 TO EX. TYP.

54 TO EX. TYP.

54 TO EX. TYP.

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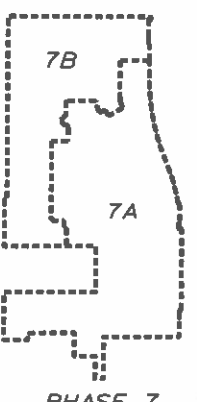
54 TO EX. TYP.

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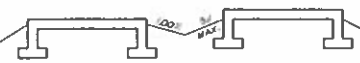
54 TO EX. TYP.

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 2' ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B/MOD. B LOTS, OR 2' ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-052.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C13 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTION SEE SHEET No. C48.
 6. DRAINAGE TRACTS/EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA/CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C28-C39.
 9. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEETS No. C11 & C12.
 13. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.



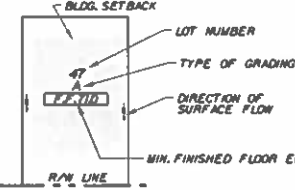
PHASE 7

MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS



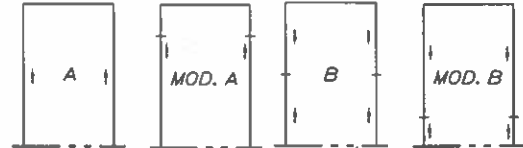
TYPICAL SECTION @ LOT LINE

NOTE:
SITE GRADE CONTRACTOR TO GRADE
BLDG. PAD AREA WITHIN SETBACK
TO 0.2' BELOW FINISHED FLOOR ELEV.



TYPICAL LOT LAYOUT

ALLIGATOR LAKE ROAD



R/W LINE

LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SWMT CONTOURS | | |

Dewberry

Dewberry Engineers Inc.
100 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.643.5120
ENGINEERING BUSINESS #794

TWIN LAKES
PHASES 7A & 7B

OSCEOLA COUNTY, FLORIDA

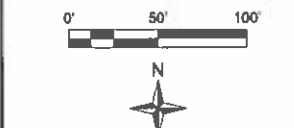
SEAL



KEY PLAN



SCALE



REVISIONS

| No. | DATE | BY | Description |
|-----|---------|-----|-----------------------|
| 3 | 9-30-21 | KJK | FIELD REVISION |
| 2 | 8-1-21 | KJK | REV PER COMMENTS & QA |
| 1 | 4-1-21 | KJK | REV PER COMMENTS |

| | |
|-------------|---------------|
| PROJECT # | 50114403 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | RMJ |
| DATE | FEBRUARY 2021 |
| DATUM | NAVD 88 |

TITLE

LOT & BLOCK
GRADING PLAN

PROJECT: J8BNT3\FINAL\PHASE 7
SHEET NO.

C20

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

SDP21 0036
06/29/2021
Osceola County
Community Development

THIS APPROVAL IS SUBJECT TO THE CITY OF OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT REVIEW AND APPROVAL OF THE PLANS. THE CITY OF OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY OF OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE USE OF THESE PLANS. THE CITY OF OSCEOLA COUNTY COMMUNITY DEVELOPMENT DEPARTMENT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY THAT MAY OCCUR AS A RESULT OF THE USE OF THESE PLANS.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

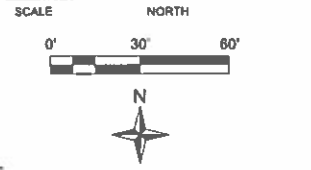
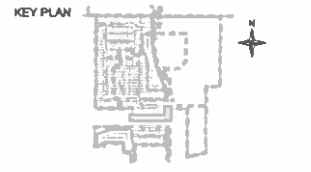
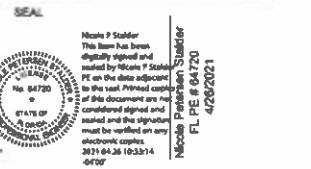
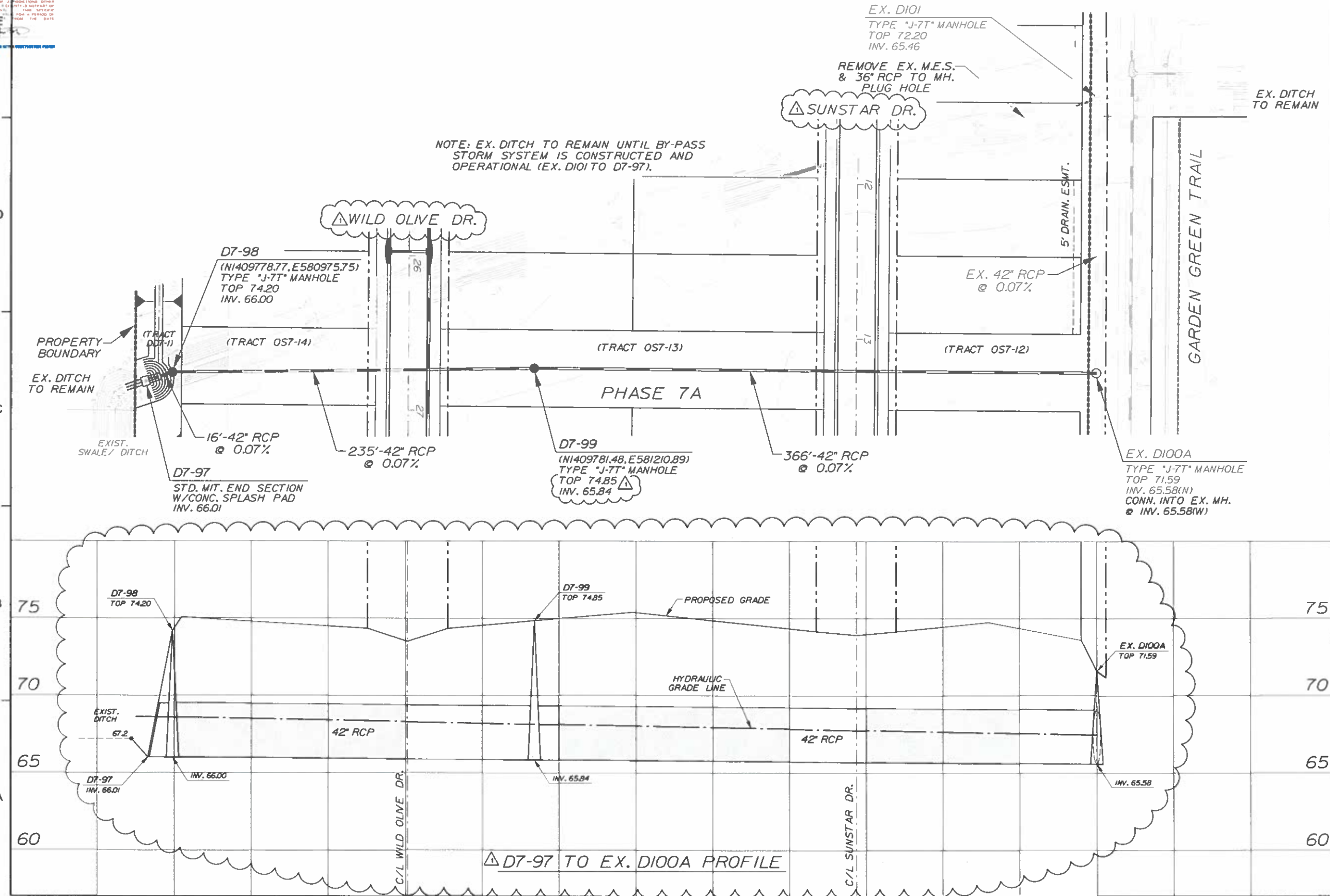


Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5130
ENGINEERING BUSINESS 4794

TWIN LAKES
PHASES 7A & 7B

OSCEOLA COUNTY, FLORIDA

NOTE: EX. DITCH TO REMAIN UNTIL BY-PASS
STORM SYSTEM IS CONSTRUCTED AND
OPERATIONAL (EX. DIOI TO D7-97).



| REVISIONS | | | | |
|-----------|--------|-----|-----|------------------|
| No. | DATE | BY | REV | PER COMMENTS |
| 1 | 4-1-21 | KJK | | REV PER COMMENTS |

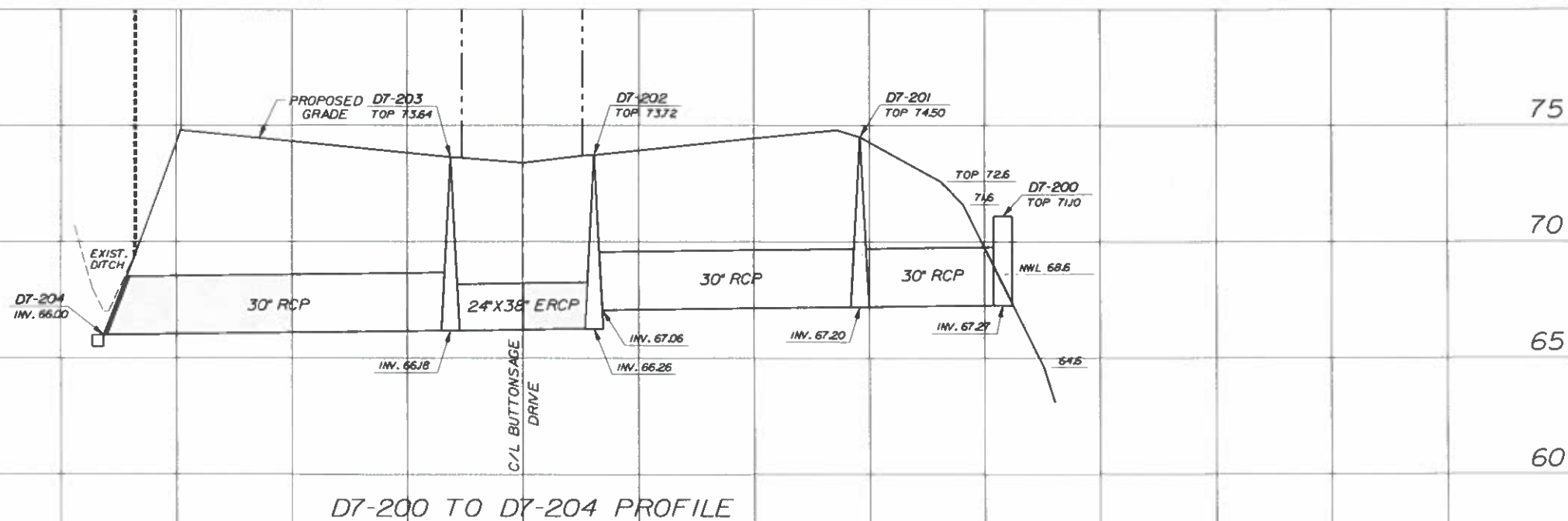
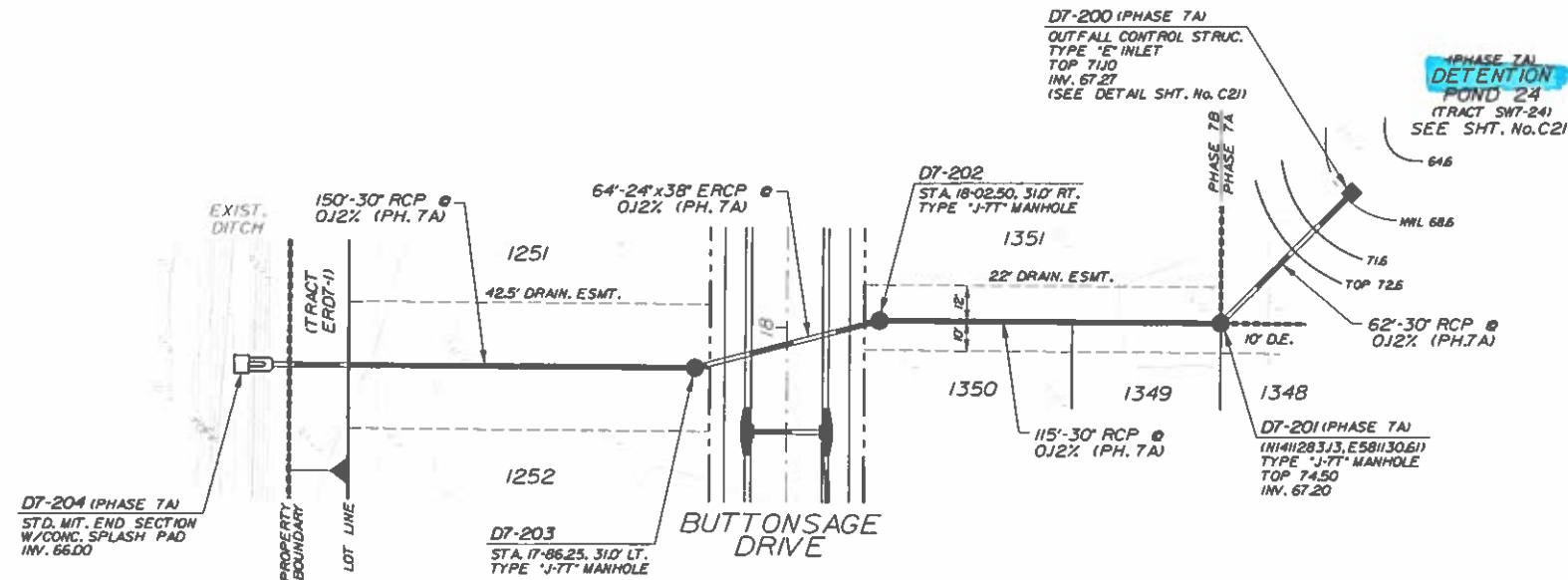
PROJECT # 50114403
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE FEBRUARY 2021
DATUM NAVD 88

TITLE
**DRAINAGE
OUTFALL
PHASE 7A**

PROJECT: J:\BKNT3\FINAL PHASE 7
SHEET NO.

C20A

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.1310
ENGINEERING LICENSE: 88-4794

TWIN LAKES
PHASES 7A & 7B

OSCEOLA COUNTY, FLORIDA

SEAL

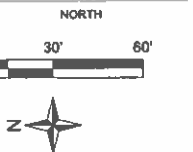


Nicole P. Stalder
This form has been
electronically signed and
sealed by Nicole P.
Stalder on the date
indicated below.
I, the undersigned, do not
condition or limit the
validity of this signature
in any way.
Nicole P. Stalder
P.E. # 64720
4/26/2021

KEY PLAN



SCALE



REVISIONS

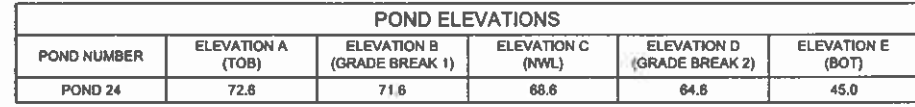
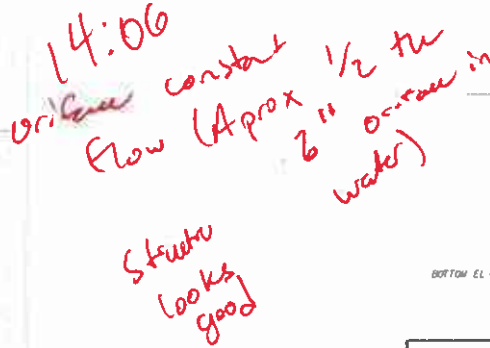
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|-----|--------|-----|------------------|
| 1 | 4-1-21 | KJK | REV PER COMMENTS |

PROJECT # 50114403
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE FEBRUARY 2021
DATUM NAVD 88

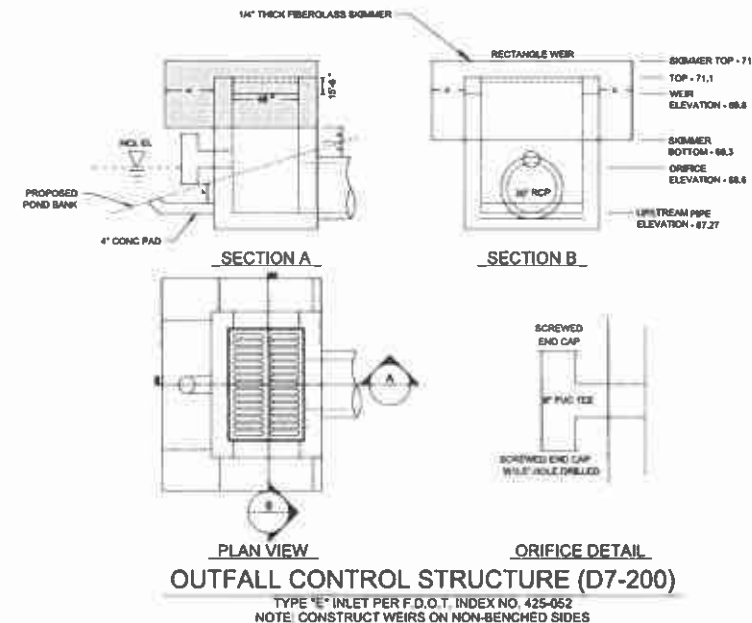
TITLE
**DRAINAGE
OUTFALL
PHASE 7A**

PROJECT: J:\BKNT3\FINAL\PHASE 7
SHEET NO.

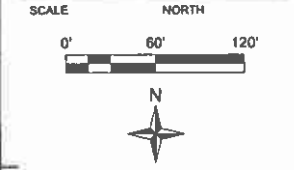
C20B



| POND DESIGN STAGES | | | | |
|--------------------|------------------------------|---------------------|----------------------|----------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
| POND 24 | 70.51 | 71.09 | 72.26 | 72.58 |



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



| REVISIONS | | | |
|-----------|--------|-----|------------------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| 1 | 4-1-21 | KJK | REV PER COMMENTS |
| No. | DATE | BY | Description |

PROJECT # 50114403
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DATE FEBRUARY 2021
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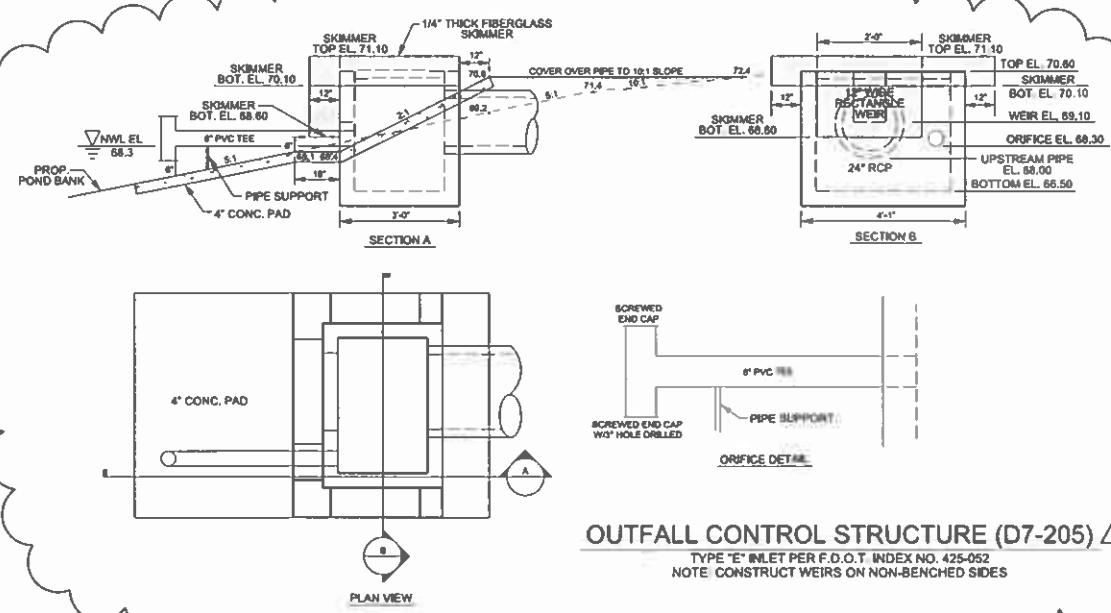
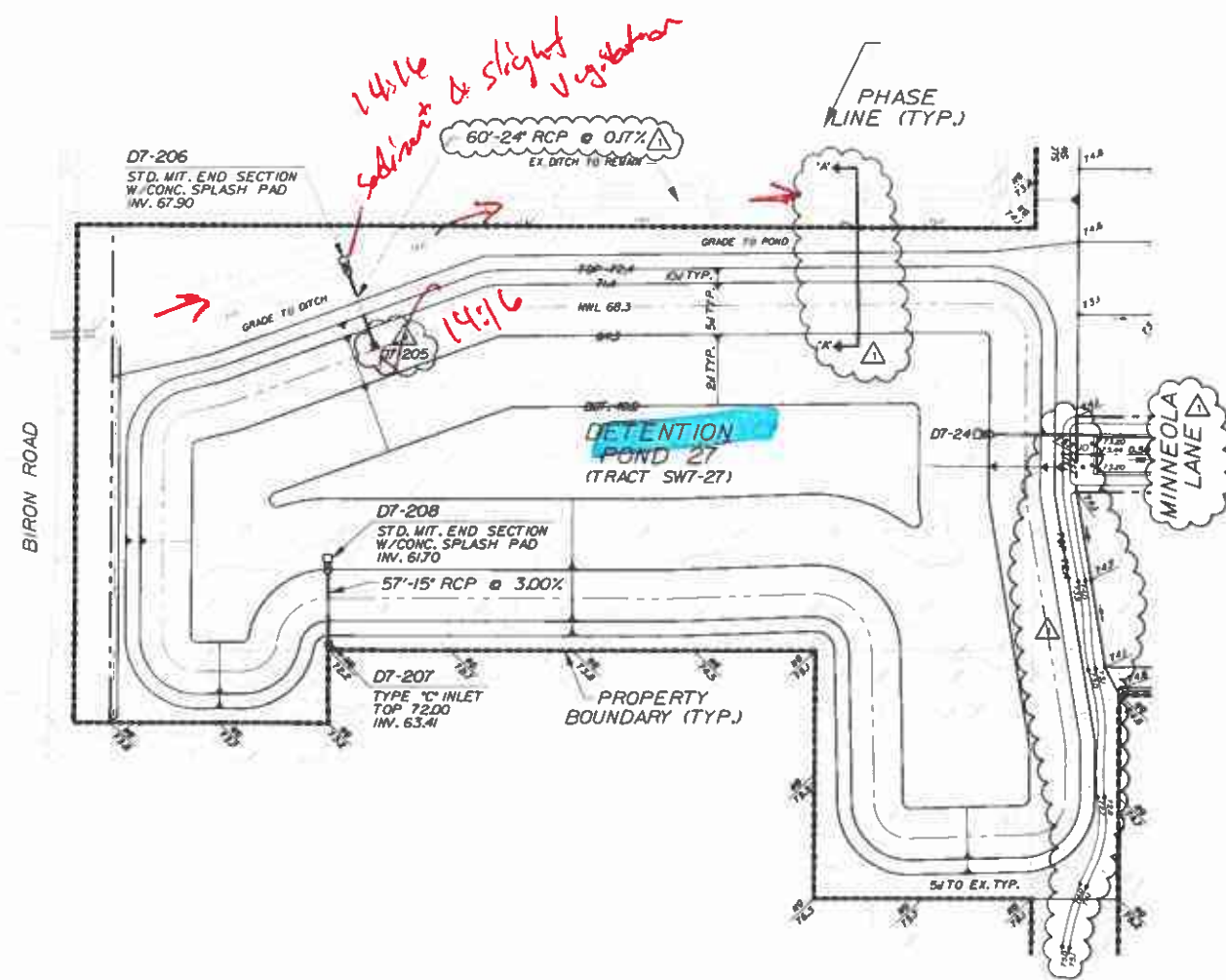
TITLE

DETENTION
POND 24
PHASE 7A

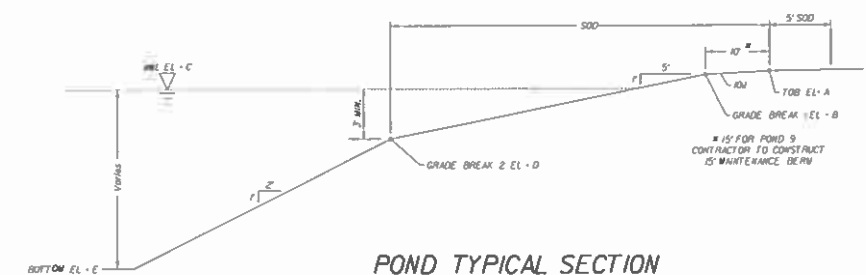
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SHEET NO.

C21

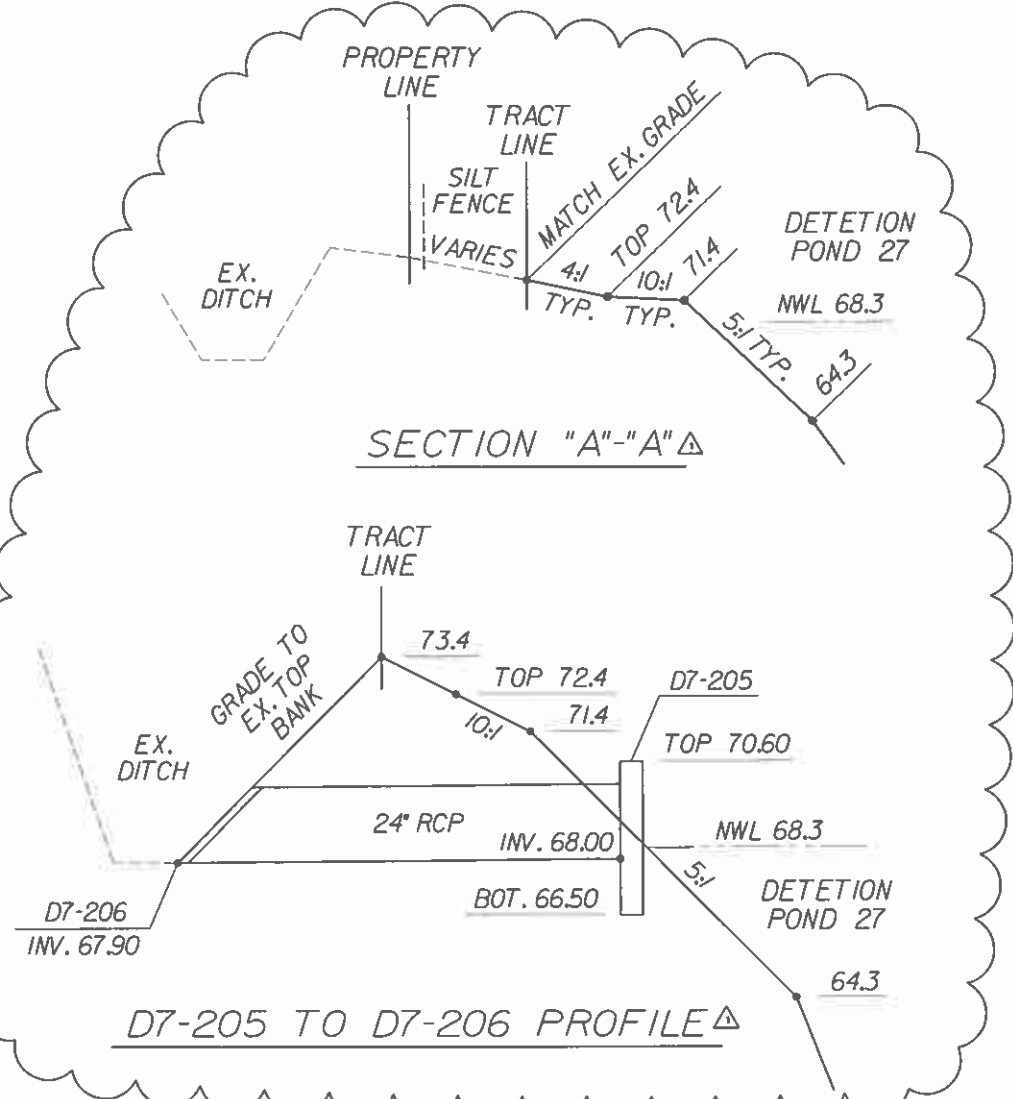


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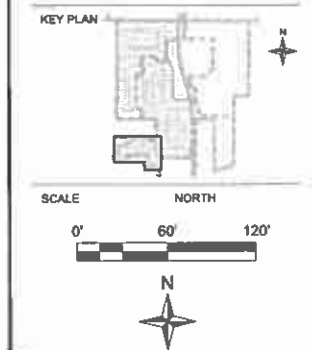
| POND ELEVATIONS | | | | | |
|-----------------|----------------------|--------------------------------|----------------------|--------------------------------|----------------------|
| POND NUMBER | ELEVATION A
(TOB) | ELEVATION B
(GRADE BREAK 1) | ELEVATION C
(NWL) | ELEVATION D
(GRADE BREAK 2) | ELEVATION E
(BOT) |
| POND 27 | 72.4 | 71.4 | 68.3 | 64.3 | 40.0 |

| POND DESIGN STAGES | | | | |
|--------------------|------------------------------|---------------------|----------------------|----------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR
(FT) | 10 YR 72 HR
(FT) | 100 YR 24 HR
(FT) | 100 YR 72 HR
(FT) |
| POND 27 | 69.85 | 70.43 | 71.84 | 72.19 |



**TWIN LAKES
PHASES 7A & 7B**

OSCEOLA COUNTY, FLORIDA

[illegible]

PROJECT # 50114403
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE FEBRUARY 2021
DATUM NAVD 88

TITLE

DETENTION
POND 27
PHASE 7A

PROJECT: J-BKNT3/FINAL/PHASE 7

SHEET NO.

C22

Drawing Index

Civil

| | |
|----------|--|
| C01 | COVER SHEET |
| C02-C04 | GENERAL NOTES |
| C05 | OVERALL LEGAL |
| C06 | PROPERTY SKETCH |
| C07 | PROPERTY SKETCH EXHIBIT |
| C08 | EXISTING CONDITIONS PLAN |
| C09 | ENVIRONMENTAL IMPACTS PLAN |
| C10 | RIGHT OF WAY/EASEMENT VACATION PLAN |
| C11, C12 | EROSION CONTROL PLANS |
| C13 | OVERALL TWIN LAKES SITE PLAN |
| C14 | PHASE 8 SITE PLAN |
| C15, C16 | GEOMETRY PLANS |
| C17 | GEOMETRY DATA |
| C18, C19 | LOT & BLOCK GRADING PLANS |
| C20 | DETENTION POND 25 |
| C21 | DETENTION POND 26 |
| C22, C23 | UTILITY PLANS |
| C24 | SAMPLE POINTS LOCATION PLAN |
| C25 | PLAN & PROFILE KEY MAP |
| C26-C31 | PLAN & PROFILES |
| C32 | SIGNAGE & STRIPING PLAN |
| C33 | LIFT STATION 104B SITE PLAN |
| C34-C38C | CITY OF ST. CLOUD LIFT STATION DETAILS |
| C39-C43 | CITY OF ST. CLOUD DETAILS |
| C44 | PAVING & DRAINAGE DETAILS |
| C45 | TYPICAL SECTIONS & LOT LAYOUTS |
| C46 | OUC LIGHTING PLAN |

Landscape

| | |
|-------------|-----------------|
| L2.00 | OVERALL PLAN |
| L2.10-L2.13 | LANDSCAPE PLANS |
| L2.20 | TURF PLAN |
| L3.00 | NOTES & DETAILS |

Irrigation

| | |
|---------------|-----------------------|
| IR2.00 | OVERALL PLAN & LEGEND |
| IR2.10-IR2.12 | IRRIGATION PLANS |
| IR3.00 | IRRIGATION DETAILS |

LEGAL DESCRIPTION:

LEGAL DESCRIPTION:

A PORTION OF LOTS 1, 2, 3, 15, 16, 17, 18, 19, 30, 31, 32 AND LOT 34, THE SEMINOLE LAND AND INVESTMENT COMPANY'S (INCORPORATED) SUBDIVISION OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 31 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B, PAGE 26, OF THE PUBLIC RECORDS OF OSCEOLA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 20; THENCE S89°43'11"E ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 20, A DISTANCE OF 264.23 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 20; THENCE CONTINUE S89°33'33"E ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 20, A DISTANCE OF 1126.57 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID NORTH LINE, S89°33'33"E, A DISTANCE OF 1107.17 FEET; THENCE DEPARTING SAID NORTH LINE, RUN S00°31'07"W, A DISTANCE OF 1255.62 FEET; THENCE N89°44'21"W, A DISTANCE OF 250.00 FEET TO A POINT ON THE EAST LINE OF LOT 31; THENCE S00°31'07"W, ALONG EAST LINE OF LOTS 31 AND 34, A DISTANCE OF 346.62 FEET; THENCE DEPARTING SAID EAST LINE, RUN N89°28'53"W, A DISTANCE OF 482.20 FEET; THENCE N89°30'03"W, A DISTANCE OF 110.10 FEET; THENCE N00°29'57"E, A DISTANCE OF 107.54 FEET; THENCE N21°09'05"W, A DISTANCE OF 61.32 FEET; THENCE N14°35'09"W, A DISTANCE OF 62.64 FEET; THENCE N08°01'12"W, A DISTANCE OF 62.64 FEET; THENCE N01°27'16"W, A DISTANCE OF 60.11 FEET TO A POINT ON THE WEST LINE OF SAID LOT 31; THENCE N00°31'07"E, ALONG SAID WEST LINE, A DISTANCE OF 100.00 FEET; THENCE DEPARTING SAID WEST LINE OF LOT 31, RUN N13°56'18"W, A DISTANCE OF 23.73 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 274.00 FEET, A CENTRAL ANGLE OF 03°55'12", A CHORD BEARING OF S74°06'06"W AND A CHORD DISTANCE OF 18.74 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 18.75 FEET; THENCE S72°08'30"W, A DISTANCE OF 7.68 FEET; THENCE N17°51'30"W, A DISTANCE OF 52.00 FEET TO A POINT ON A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 87°59'20", A CHORD BEARING OF N63°51'46"W AND A CHORD DISTANCE OF 34.73 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 38.39 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 1430.00 FEET, A CENTRAL ANGLE OF 02°50'22", A CHORD BEARING OF N21°17'13"W AND A CHORD DISTANCE OF 70.86 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 70.87 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1470.00 FEET, A CENTRAL ANGLE OF 02°51'53", A CHORD BEARING OF N21°16'28"W AND A CHORD DISTANCE OF 73.49 FEET; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 73.50 FEET TO THE END OF SAID CURVE; THENCE S89°28'53"E, A DISTANCE OF 282.84 FEET; THENCE N45°31'07"E, A DISTANCE OF 187.16 FEET; THENCE N00°31'07"E, A DISTANCE OF 495.01 FEET; THENCE N89°28'53"W, A DISTANCE OF 480.00 FEET; THENCE

N00°31'07"E, A DISTANCE OF 120.00 FEET; THENCE N89°28'53"W, A DISTANCE OF 2.10 FEET; THENCE N00°28'50"E, A DISTANCE OF 52.00 FEET; THENCE S89°28'53"E, A DISTANCE OF 20.44 FEET; THENCE N00°31'07"E, A DISTANCE OF 121.90 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 3; THENCE N89°33'33"W, ALONG SAID NORTH LINE OF LOT 3, A DISTANCE OF 35.47 FEET; THENCE DEPARTING SAID NORTH LINE, RUN N00°29'57"E, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,243,401 SQUARE FEET OR 28.54 ACRES MORE OR LESS

NOTES:

1. THE FOLLOWING PROPOSED FACILITIES SHOWN ON THE DEVELOPMENT PLANS ARE FOR REFERENCE PURPOSES ONLY AND EACH SHALL REQUIRE A SEPARATE BUILDING PERMIT. THE LIST INCLUDES BUT IS NOT LIMITED TO: PROPOSED BUILDINGS, SANITARY LIFT STATIONS, LIGHT FIXTURES (POLES) THAT ARE INDEPENDENT FROM ANY BUILDING STRUCTURE, FENCES, GATES, BOAT DOCKS, MONUMENT SIGNS, DUMPSTER ENCLOSURES, AND DECORATIVE/RETAINING WALLS.
2. CUT AND FILL EARTHWORK FOR THE PROJECT SHALL BALANCE ON-SITE AND THERE SHALL BE NO EXPORT OF FILL FROM THIS SITE.
3. ANY PROPOSED ROADWAY LANE CLOSURE MUST BE SUBMITTED IN WRITING ACCOMPANIED BY A SPECIFIC MOT PLAN DETAILING THE SIGNAGE/DETOUR PLAN, DURATION OF THE ROAD CLOSURE, NOTIFICATION OF LOCAL EMERGENCY AND LAW ENFORCEMENT OFFICES, NOTIFICATION OF OSCEOLA COUNTY PUBLIC INFORMATION OFFICE AND ALL AFFECTED LOCAL RESIDENTS MUST BE NOTIFIED OF THE ROAD IN ADVANCE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITY WITHIN THE ROADWAYS. ALL ROADWAY LANE CLOSURE MUST BE DONE IN STAGES WHEREIN ONLY SECTIONS OF ANY COUNTY ROAD WILL BE CLOSED AT A TIME. THIS IS TO KEEP EMERGENCY VEHICLES ROAD ACCESSIBILITY IMPACT TO A MINIMUM.
4. THE CITY OF ST. CLOUD WILL MAINTAIN THE WATER, REUSE WATER, GRAVITY & SANITARY SEWER FORCE MAINS WITHIN THE OSCEOLA COUNTY RIGHT-OF-WAY.

UTILITY PROVIDERS

SEWER, WATER & RECLAIM

CITY OF ST. CLOUD
1300 9TH STREET
ST. CLOUD, FLORIDA 34769
407-957-7344

POWER/LIGHTING

OUC ELECTRIC
5003 PERSHING AVENUE
ORLANDO, FLORIDA 32822
407-384-4100

TELEPHONE

CENTURYLINK
1359 VINE STREET
KISSIMMEE, FLORIDA 34741
407-390-6302

CABLE

SPECTRUM
3613 GRISSOM LANE
KISSIMMEE, FLORIDA 34741
407-532-8509

GAS

FLORIDA PUBLIC UTILITIES
1705 7TH STREET SW
WINTER HAVEN, FL 33880
863-292-2920

Prepared For

NARCOOSSEE LAND VENTURES, LLC
370 CENTER POINTE CIRCLE
ALTAMONTE SPRINGS, FLORIDA 32701
CONTACT: SCOTT STEARNS

Civil Engineer /Environmental

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9707
CONTACT: NICOLE P. STALDER, P.E., LEED AP

Survey-Boundary & Topographic

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9834
CONTACT: BILL DONLEY, P.S.M.

Geotechnical Engineer

UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FLORIDA 32811
PHONE: (407) 423-0504
CONTACT: RICARDO C. KIRIAKIDIS L., PH.D., P.E.

Traffic Engineer

LUKE TRANSPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.

Landscape Architect

DEWBERRY ENGINEERS INC.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FLORIDA 32803
PHONE: (321) 354-9744
CONTACT: MICHAEL URCHUK

SUNSHINE STATE TICKET NUMBER 275912031

TWIN LAKES

PHASE 8

Osceola County, Florida
CONSTRUCTION PLANS

Submittal: DECEMBER 2019

Resubmittal: AUGUST 2020

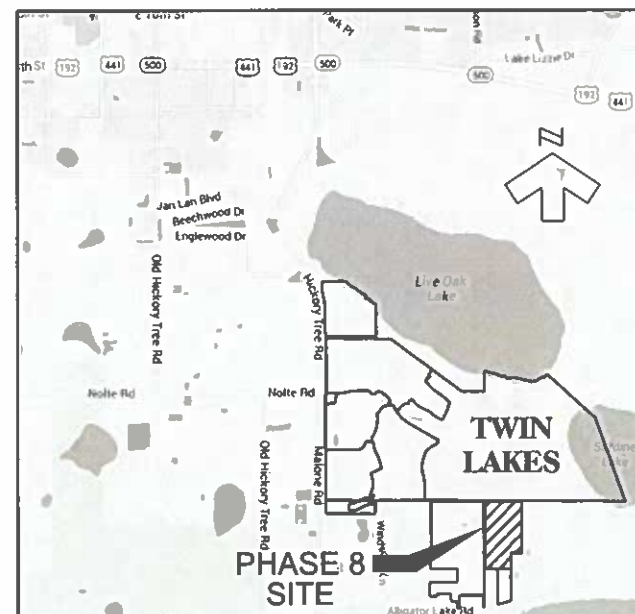
Parcel ID. Numbers

20-26-31-4950-0001-0180,

20-26-31-4950-0001-0310,

20-26-31-4950-0001-0020

Buffers/Setbacks per PSP phases 3-8
approved 11-21-19 (PS19-00009)



SITE LOCATION

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE.
SUITE 1000
ORLANDO, FL 32803
PHONE: (407) 445-1120
ENGINEERING BUSINESS - 4794

TWIN LAKES
PHASE 8

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Stalder
This seal has been digitally signed and
sealed by Nicole P. Stalder PE on the date
indicated to the seal. Printed copies of this
document are not considered signed and
sealed and the signature must be verified on
any electronic copies.
303611 09 15 20:26 -02'07'

Nicole P. Stalder
FL PE # 64720
11/02/2020

REVISIONS

| No. | DATE | BY | Description |
|-----|---------|-----|------------------|
| 3 | 11-0-20 | KJK | REV PER PARKING |
| 2 | 9-15-20 | KJK | REV PER COMMENT# |
| 1 | 4-22-20 | KJK | REV PER COMMENT# |

PROJECT # 50114404
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE NOVEMBER 2019
DATUM NAVD 88

TITLE

COVER
SHEET

PROJECT: J5BKT3FINALPHASE 8
SHEET NO.

C01

SDP19-0153, PS19-00009

NOTE: SEE SHEET No. C45 FOR TYPICAL SECTION.

SITE DATA

TOTAL AREA LESS H/S ROW AREA 42.70 AC.
TOTAL DEVELOPABLE AREA 42.70 AC.
TOTAL AREA PHASE 8 28.54 AC.
TOTAL LOTS 127 LOTS
NET DENSITY: 127 LOTS / 30.26 (DEVELOPABLE AREA - STORMWATER PONDS) 4.20 LOTS / AC.
EXISTING ZONING LDR (LOW DENSITY RESIDENTIAL)
EXISTING LAND USE VACANT
PHASE 8 DEVELOPABLE AREAS
RESIDENTIAL (LOTS) 19.22 AC.
PUBLIC RIGHT OF WAY 5.47 AC.
LIFT STATION TRACT (TRACT 104B-1) 0.06 AC.
OPEN SPACE (TRACTS 05B-1 TO 05B-8 & ERD8-1) 3.79 AC.
TOTAL 28.54 AC.
X POND AREA
REQUIRED 115% DEVELOPABLE AREA 6.41 AC. (42.70 X 15%)
PROVIDED 12.44 AC.
REQUIRED TREES (DETACHED PRODUCT)
TWO (2) TREES PER LOT 254 (127 X 2)
ONE (1) TREE PER FOURTY (40) LF OF ROAD 16 (4658 / 40)
TOTAL TREES REQUIRED 370
MINIMUM DETACHED BUILDING SETBACKS
FRONT (TO BLDGS. UNDER A/C) 10 FT.
FRONT (TO FRONT GARAGE) 25 FT.
REAR 10 FT.
SIDE (STREET) 10 FT.
SIDE 5 FT.
POOL/ACCESSORY STRUCTURE 5 FT.
MAXIMUM BUILDING HEIGHT 3 STORIES
MINIMUM LOT WIDTH 40 FT.
MINIMUM LOT AREA 4000 SQ. FT.
RECREATION CALCULATIONS
REQUIRED: 1 AC./50 LOTS 2.54 AC. (127 / 50)
PROVIDED 4.73 AC.
EXCESS 2.19 AC.
REFER TO SHEET L220 FOR OVERALL PLAN SHOWING RECREATIONAL TRACTS AND TRACT DESCRIPTIONS.
EXCESS RECREATIONAL AREA CAN BE USED FOR FUTURE TWIN LAKES DEVELOPMENT.
OPEN SPACE CALCULATIONS
REQUIRED 120% OF DEVELOPABLE AREA 8.54 AC. (42.70 X 20%)
PROVIDED 12.44 AC.
RECREATION AREA REQUIRED 4.38 AC.
TRACTS 05B-1, 05B-6, 05B-7, 05B-8 & ERD8-1 1.83 AC.
X STORMWATER (MAX. 50% OF O.S. REQ'D) 4.27 AC.
X TRACTS 05B-16, 05B-17, 05B-18 & 05B-19 1.12 AC.
TOTAL PROVIDED 14.14 AC.
X PERMITTED/CONSTRUCTED WITH NORTH/SOUTH ALLIGATOR LAKE ROAD CONNECTOR SDP19-0153
EXCESS OPEN SPACE AREA CAN BE USED FOR FUTURE TWIN LAKES DEVELOPMENT.
REQUIRED PARKING CALCULATIONS
4 SPACES OFF-STREET PER UNIT 500 SPACES
1 SPACE ON-STREET PER 2 UNITS 64 SPACES
PROVIDED PARKING CALCULATIONS
OFF-STREET 500 SPACES
ON-STREET 68 SPACES
PARK/OPEN SPACE TRACT 9 SPACES
FUTURE PARK/OPEN SPACE TRACT 4 SPACES

TRAFFIC TRIPS GENERATED
BASED ON 9TH EDITION OF
ITE TRIP GENERATION
REPORT:
DAILY • 1296 (2 WAY)
PEAK • 95 (AM 2 WAY)
128 (PM 2 WAY)

LOT MIX
PHASE 8: 50' WIDE LOTS • 127
LINEAR FEET OF ROADWAY • 4658

NOTE:
PER LDC CHAPTER 4, ARTICLE 4.7.1(A), ALL STREETS OR VEHICULAR
TRAVEL WAYS WITHIN THE UGB SHALL BE LIGHTED AT NIGHT WITH LIGHTS
PROVIDING A MINIMUM AVERAGE ILLUMINATION OF 0.2 FOOT CANDLES.
STREET LIGHTS SHALL PRESERVE THE AMBIANCE OF THE NIGHT AND
RESPECT THE PRIVACY OF NEIGHBORING PROPERTIES BY APPLYING
PEDESTRIAN-SCALED FIXTURES. LIGHT POLES SHALL BE NO HIGHER THAN
18 FT WITHIN THE UGB. STREET LIGHTING SHALL BE PERMITTED AND
INSTALLED PRIOR TO CERTIFICATION OF COMPLETION.

| TRACT | AREA | DESIGNATION | USE | OWNERSHIP | MAINTENANCE |
|--------|------|--|--------------|-------------------|-------------------|
| 05B-1 | 0.80 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-2 | 0.08 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-3 | 0.16 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-4 | 1.48 | PARK/OPEN SPACE | RECREATION | MOA | MOA |
| 05B-5 | 0.20 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-6 | 0.26 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-7 | 0.07 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| 05B-8 | 0.37 | OPEN SPACE | OPEN SPACE | MOA | MOA |
| LSS-1 | 0.06 | LIFT STATION | LIFT STATION | CITY OF ST. CLOUD | CITY OF ST. CLOUD |
| ERD8-1 | 0.51 | EX. RIGHT-OF-WAY TO BE VACATED TO OPEN SPACE | | MOA | MOA |

NOTE:
TRACT ERD8-1: EXISTING RIGHT OF WAY TO BE VACATED TO HOME OWNERS ASSOCIATION
AND OWNERSHIP TO BE TURNED OVER TO THE HOME OWNERS ASSOCIATION.

NOTE: SEE SHEET No's. C15 & C16 FOR TRACT CALLOUTS.



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.443.5120
ENGINEERING BUSINESS 4794

TWIN LAKES PHASE 8

OSCEOLA COUNTY, FLORIDA

SEAL



Nicole P. Stabler
This form has been digitally signed and sealed
by Nicole P. Stabler PE on the date adjacent to
the seal. Printed copies of this document are
not considered signed and sealed and the
signature must be verified on any electronic
copies.
2020.10.11 10:17:57 -0400

SCALE NORTH
0' 160' 320'



| No. | DATE | BY | Description |
|-----|---------|-----|-----------------|
| 2 | 9-15-20 | KJK | REV PER COMMENT |
| 1 | 4-22-20 | KJK | REV PER COMMENT |

PROJECT # 50114404
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE NOVEMBER 2019
DATUM NAVD 88

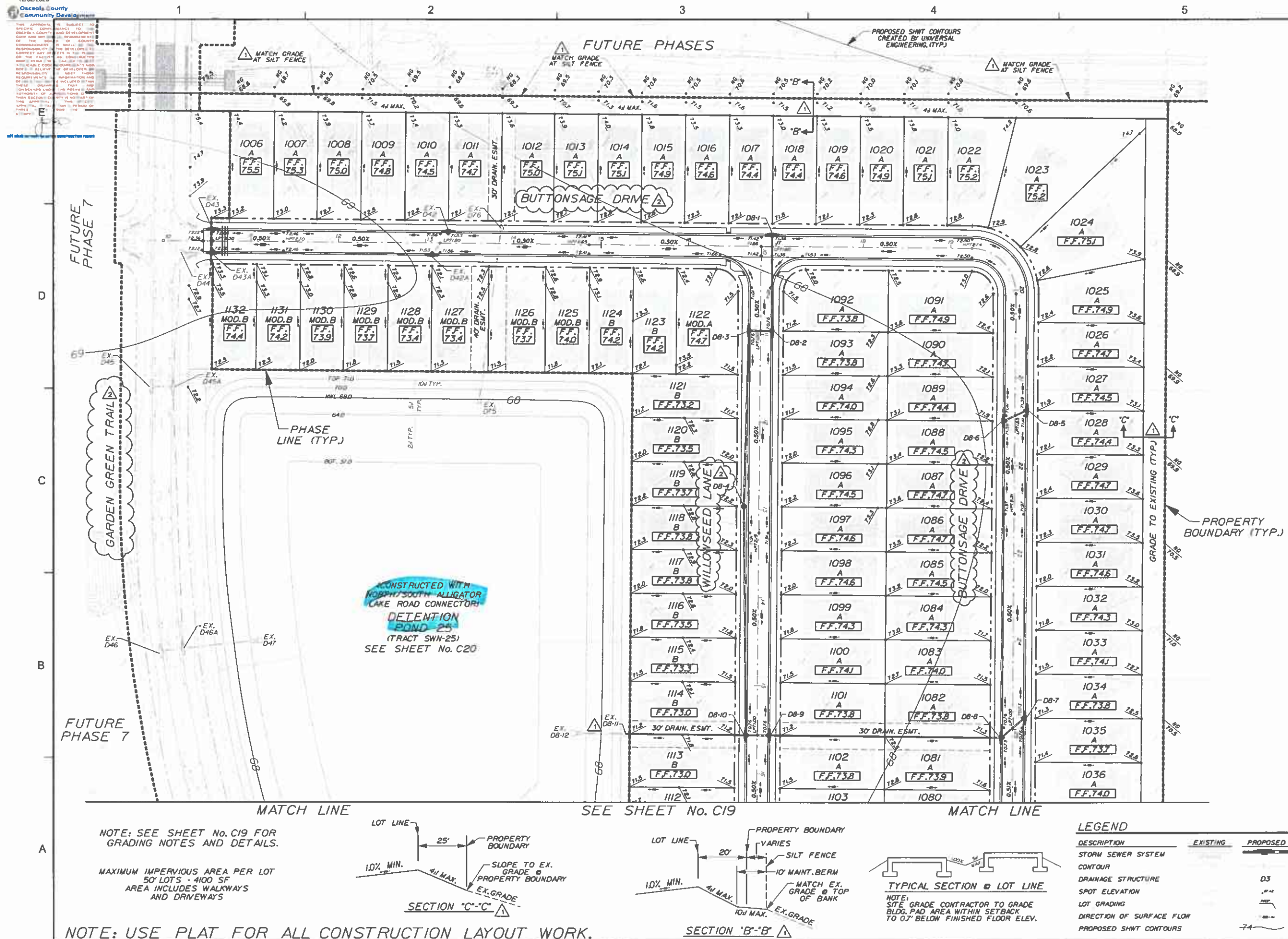
TITLE

PHASE 8 SITE PLAN

PROJECT: J:\BKNT3\FINAL\PHASE 8
SHEET NO.

C14

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.



Dawberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8794

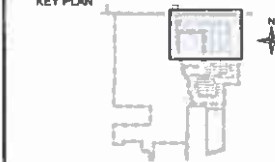
TWIN LAKES
PHASE 8

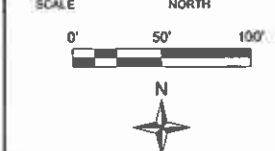
MANEJO DE LA CONTAMINACIÓN DEL AGUA



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KEY PLAN





| REVISIONS | | | |
|-----------|---------|-----|-----------------|
| | | | |
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| | | | |
| | | | |
| 3 | 9-15-20 | KJK | REV PER COMMENT |
| 1 | 2-22-20 | KJK | REV PER COMMENT |
| No. | DATE | BY | Description |

| | |
|-------------|---------------|
| PROJECT # | 50114404 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | RMJ |
| DATE | NOVEMBER 2019 |
| DATUM | NAVD 88 |

III.

LOT & BLOCK
GRADING PLAN

PROJECT: JABKNT3FINALPHASE C

C18

MATCH LINE

SEE SHEET No. C18

MATCH LINE

DETENTION
POND 25
(TRACT SWN-25)
SEE SHEET
No. C20 (CONSTRUCTED WITH
NORTH/SOUTH
ALLIGATOR LAKE
ROAD CONNECTOR)

FUTURE
PHASE 7

PHASE LINE (TYP.)
FUTURE
DEVELOPMENT

OPEN
PLAY
FIELD

TRAIL PATH

MYRTLE LEAF COURT

TUPELO LOOP

PROPOSED SHMT CONTOURS
CREATED BY UNIVERSAL
ENGINEERING (TYP.)

PROPERTY
BOUNDARY (TYP.)

Dewberry
Dewberry Engineers Inc.
800 NOR 31 MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE 407.843.5120
ENGINEERING BUSINESS 4794

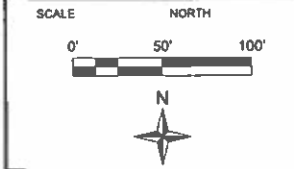
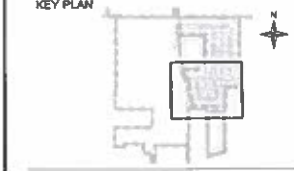
TWIN LAKES
PHASE 8

OSCEOLA COUNTY, FLORIDA

SEAL



KEY PLAN



| REVISIONS | | | | |
|-----------|---------|-----|------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 2 | 9-15-20 | KJK | REV PER COMMENTS | |
| 1 | 4-22-20 | KJK | REV PER COMMENTS | |

| | |
|-------------|---------------|
| PROJECT # | 50114404 |
| DRAWN BY | KJK |
| APPROVED BY | NPS |
| CHECKED BY | RMJ |
| DATE | NOVEMBER 2019 |
| DATUM | NAVD 88 |

TITLE

LOT & BLOCK
GRADING PLAN

PROJECT: J:\BKN\3\FINAL\PHASE 8
SHEET NO.

C19

SDP19-0153, PS19-00009

- NOTES:
1. ALL FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 24" ABOVE THE ADJACENT ROAD CROWN FOR TYPE A LOTS, 18" ABOVE THE ADJACENT ROAD CROWN FOR TYPE B/MOD. B LOTS, OR 24" ABOVE PEAK STAGE WITHIN POND FOR THE 100 YEAR STORM EVENTS.
 2. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 3. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 AND 425-052.
 4. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C13 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 5. FOR TYPICAL ROADWAY SECTION SEE SHEET No. C45.
 6. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CDD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 7. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 8. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET NOS. C26-C31.
 9. STRIP SOD OF ONE (1) FOOT WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 10. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ON SITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 11. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS BE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 12. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEETS No. C11 & C12.
 13. REFER TO LANDSCAPE PLANS FOR PERIMETER LANDSCAPE BERMING AND COLUMN ELEVATIONS FOR PERIMETER WALL.

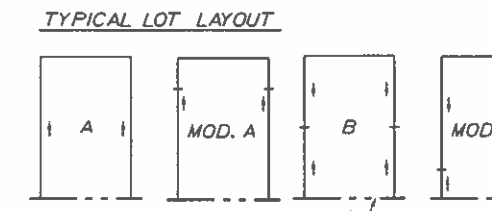
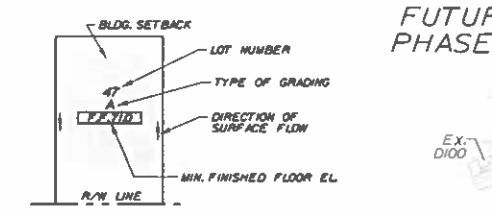
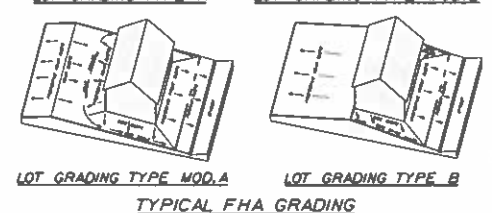
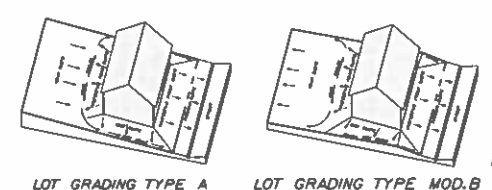
LEGEND

| DESCRIPTION | EXISTING | PROPOSED |
|---------------------------|----------|----------|
| STORM SEWER SYSTEM | | |
| CONTOUR | | |
| DRAINAGE STRUCTURE | | |
| SPOT ELEVATION | | |
| LOT GRADING | | |
| DIRECTION OF SURFACE FLOW | | |
| PROPOSED SHMT CONTOURS | | |

SEE SHEET
No. C21

DETENTION
POND 26
(TRACT SWN-26)
(CONSTRUCTED WITH
NORTH/SOUTH ALLIGATOR
LAKE ROAD CONNECTOR)

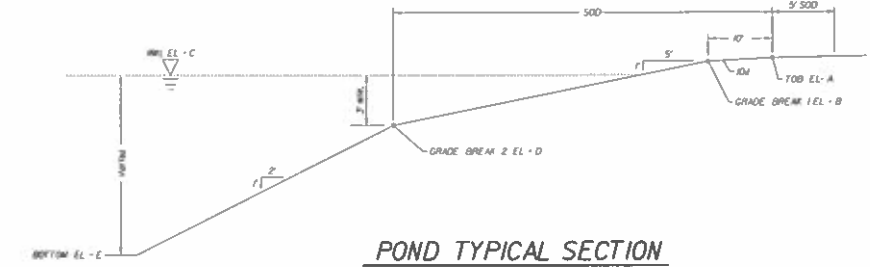
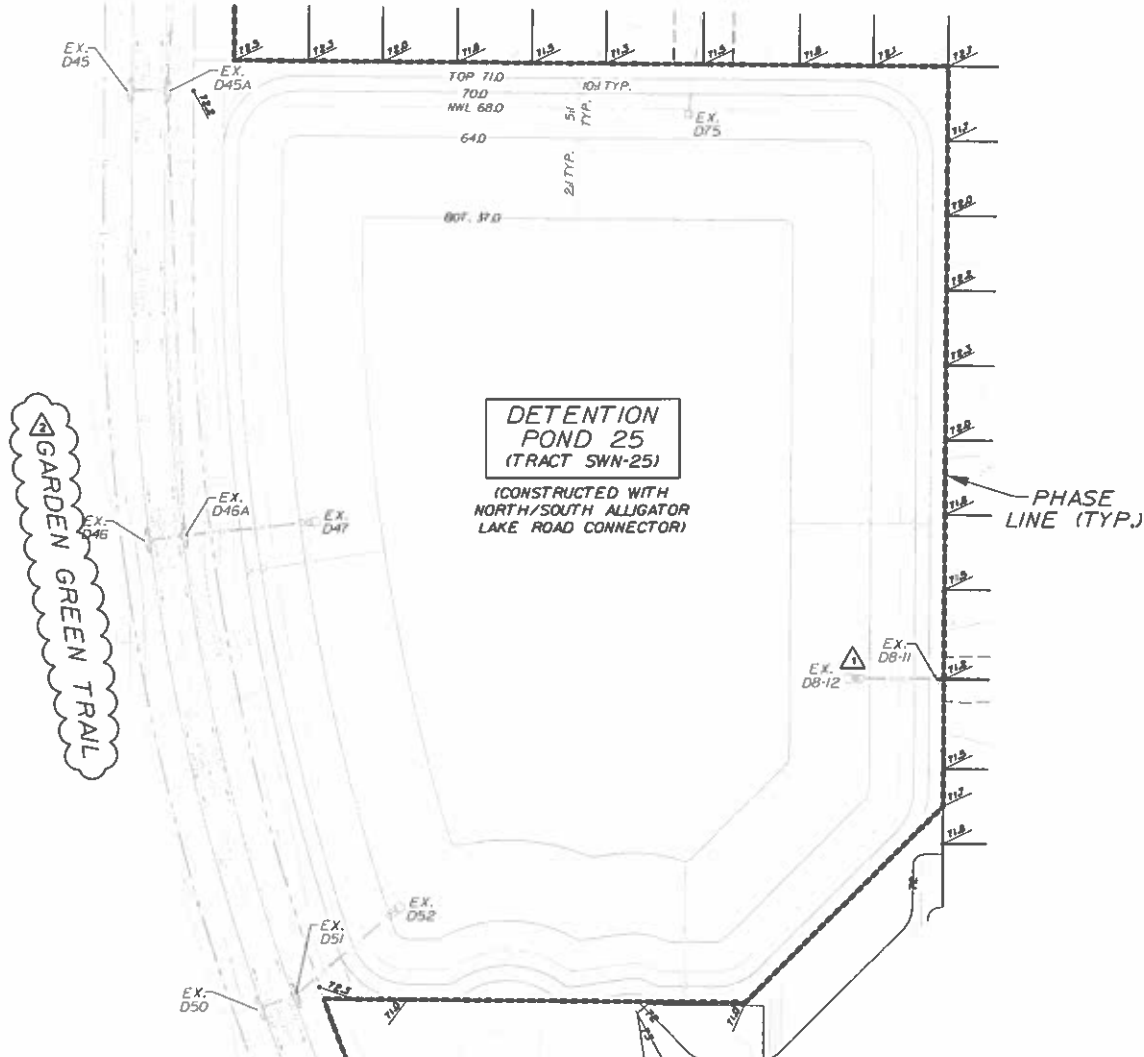
MAXIMUM IMPERVIOUS AREA PER LOT
50' LOTS - 4100 SF
AREA INCLUDES WALKWAYS
AND DRIVEWAYS



NOTE: USE PLAT LINE FOR ALL CONSTRUCTION LAYOUT WORK.

TWIN LAKES
PHASE 8

OSCEOLA COUNTY, FLORIDA

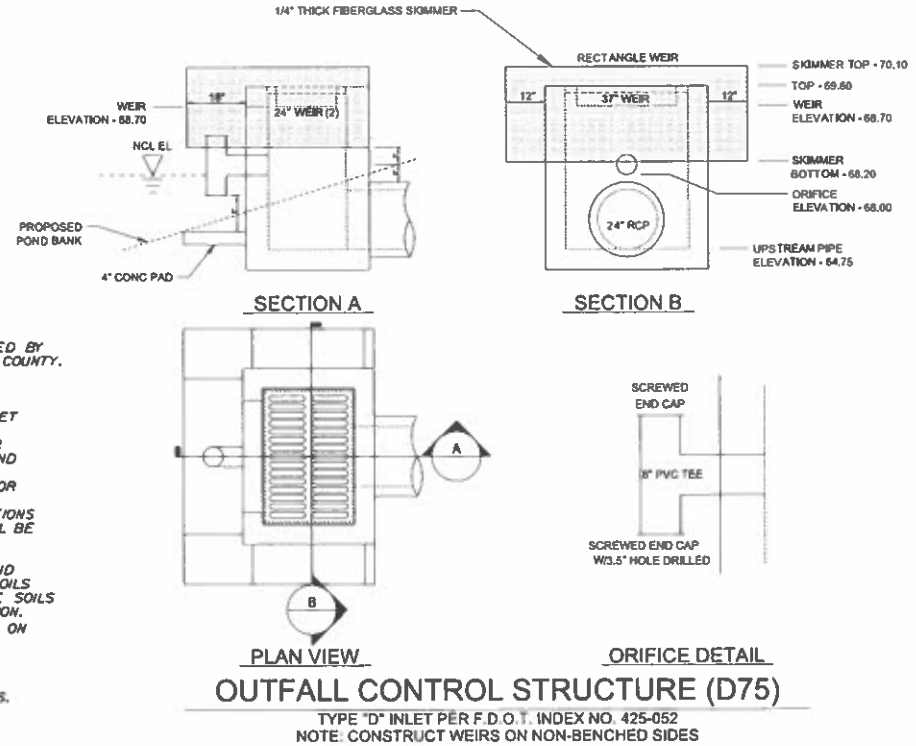


| POND ELEVATIONS | | | | |
|-----------------|-------------------|-----------------------------|-------------------|-----------------------------|
| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) |
| POND 25 | 71.0 | 70.0 | 68.0 | 64.0 |

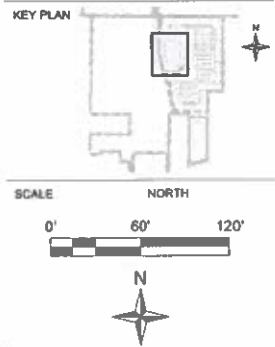
| INTERIM CONDITION POND DESIGN STAGES | | | | |
|--------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 25 | 69.10 | 69.49 | 70.31 | 70.49 |

| FINAL BUILT-OUT POND DESIGN STAGES | | | | |
|------------------------------------|------------------------------|------------------|-------------------|-------------------|
| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 25 | 69.11 | 69.51 | 70.34 | 70.52 |

- GRADING NOTES:
1. ALL RETENTION/DETENTION BASINS SHALL BE SODDED IN ACCORDANCE WITH OSCEOLA COUNTY LDC ARTICLE 4.5J.
 2. STORM STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD INDEX: 425-001, 425-010, 425-020, 425-021 & 425-052.
 3. SEASONAL HIGH GROUNDWATER CONTOURS GENERATED PER UNIVERSAL ENGINEERING SCIENCES, INC. SEE SHEET No. C15 FOR LIST OF REPORTS FOR THE POST DEVELOPED CONDITION.
 4. FOR TYPICAL ROADWAY SECTIONS SEE SHEET No. C87.
 5. DRAINAGE EASEMENTS WILL BE OWNED & MAINTAINED BY THE HOA OR CCD WITH ACCESS RIGHTS TO OSCEOLA COUNTY.
 6. NO EXPORT OF SOIL IS ANTICIPATED WITH THIS PROJECT.
 7. FOR LOCATION INFORMATION FOR ALL STORM PIPES & STRUCTURES, INCLUDING TOP ELEVATIONS SEE SHEET Nos. C44-C48, C50-C58 & C60-C62.
 8. STRIP SOO OF ONE (1) FOOT OR WIDE OR GREATER SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENT. IN AREAS WITH A SIDEWALK, THE ENTIRE AREA BETWEEN SIDEWALK AND THE BACK OF CURB/OR EDGE OF PAVEMENT SHALL BE SODDED.
 9. ALL SOIL DENSITY TESTING, SUBSURFACE INVESTIGATIONS AND ALL OTHER GEOTECHNICAL ACTIVITY ONSITE SHALL BE SUPERVISED AND CERTIFIED BY A PROFESSIONAL GEOTECHNICAL ENGINEER.
 10. SHOULD UNSUITABLE SOILS SUCH AS MUCK, CLAY AND OTHER ORGANIC SOILS ARE FOUND, ALL UNSUITABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH SUITABLE SOILS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
 11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C29A.
 12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
 14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALITY DURING CONSTRUCTION.



SEAL
Nicole P. Stabler
Professional Engineer
No. 64720
FL
10/09/2020



| REVISIONS | | | | |
|-----------|---------|-----|------------------|--|
| No. | DATE | BY | DESCRIPTION | |
| 2 | 9-15-20 | KJK | REV PER COMMENTS | |
| 1 | 4-22-20 | KJK | REV PER COMMENTS | |

PROJECT # 50114404
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE NOVEMBER 2019
DATUM NAVD 88

DETENTION
POND 25
(CONSTRUCTED WITH
NORTH/SOUTH ALLIGATOR
LAKE ROAD CONNECTOR)
PROJECT: J38KNT3/FINAL/PHASE 8
SHEET NO.

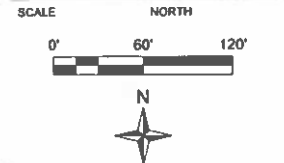
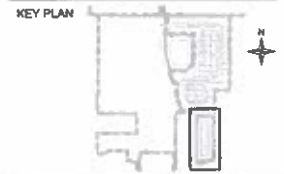
C20

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

TWIN LAKES
PHASE 8

OSCEOLA COUNTY, FLORIDA

SEAL
Nicole P. Stabler
This form has been
electronically signed and
sealed by Nicole P.
Stabler PE on the date
indicated in the seal.
Printed copies of this
document are not
considered signed and
sealed and the signature
must be verified on any
electronic copies.
2020.10.11 10:52:37
49107
Nicole P. Stabler
PE # 841720
FL 10/20/20



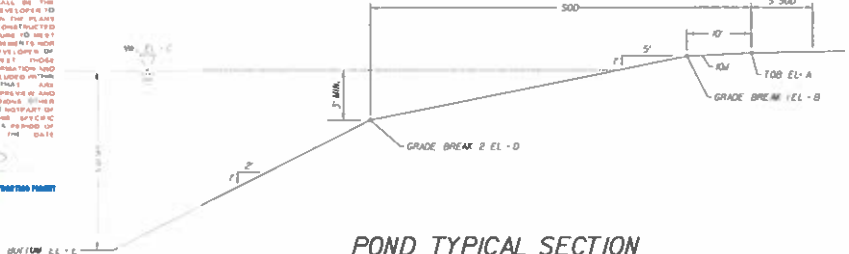
REVISIONS

| No. | DATE | BY | DESCRIPTION |
|-----|---------|-----|------------------|
| 2 | 9-15-20 | KJK | REV PER COMMENTS |

PROJECT # 50114404
DRAWN BY KJK
APPROVED BY NPS
CHECKED BY RMJ
DATE NOVEMBER 2019
DATUM NAVD 88

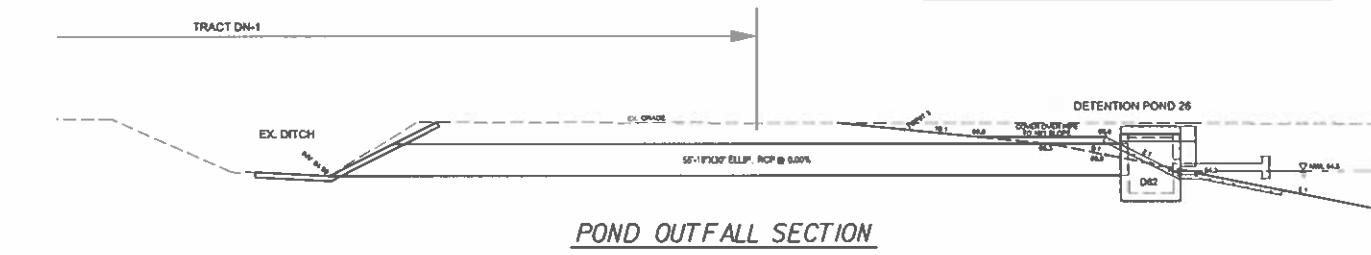
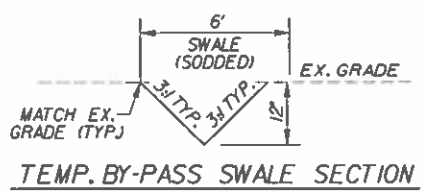
TITLE
DETENTION POND 26
(CONSTRUCTED WITH NORTH/SOUTH ALLIGATOR LAKE ROAD CONNECTOR)
PROJECT: J8BNT3/FINAL/PHASE 8
SHEET NO.

C21



POND ELEVATIONS

| POND NUMBER | ELEVATION A (TOB) | ELEVATION B (GRADE BREAK 1) | ELEVATION C (NWL) | ELEVATION D (GRADE BREAK 2) | ELEVATION E (BOT) |
|-------------|-------------------|-----------------------------|-------------------|-----------------------------|-------------------|
| POND 26 | 67.3 | 66.3 | 64.5 | 60.5 | 33.5 |



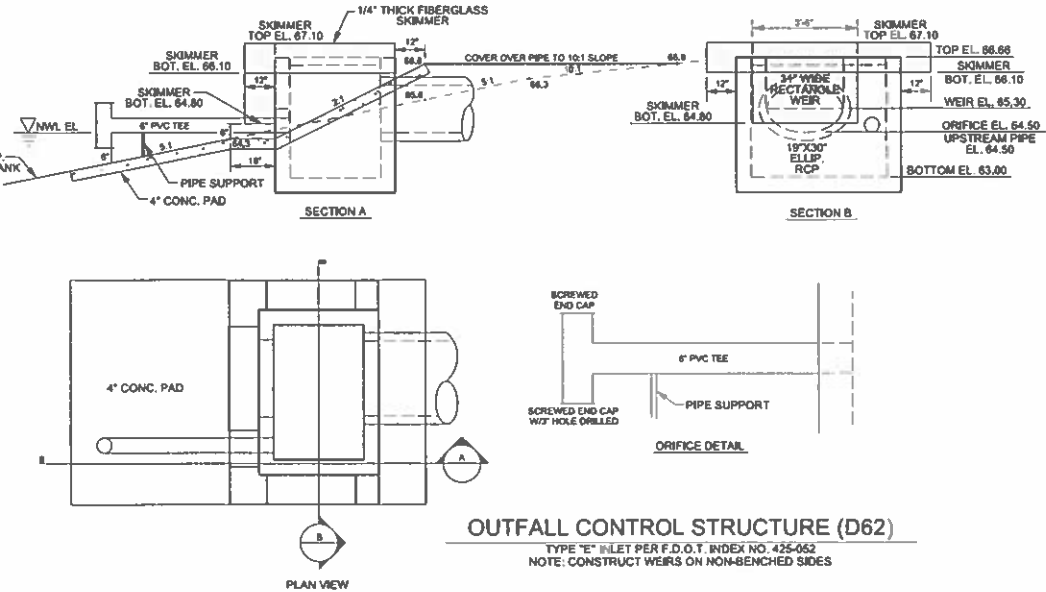
INTERIM CONDITION POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|------------------|-------------------|-------------------|
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 26 | 65.95 | 66.35 | 67.00 | 67.22 |

FINAL BUILT-OUT POND DESIGN STAGES

| POND NUMBER | POST DEVELOPMENT PEAK STAGES | | | |
|-------------|------------------------------|------------------|-------------------|-------------------|
| | 10 YR 24 HR (FT) | 10 YR 72 HR (FT) | 100 YR 24 HR (FT) | 100 YR 72 HR (FT) |
| POND 26 | 65.90 | 66.27 | 66.96 | 67.19 |

GRADING NOTES:
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11. SEE PERMANENT EROSION CONTROL REQUIREMENTS ON SHEET No. C29A.
12. ALL DISTURBED DITCH SIDE SLOPES AND BANKS SHALL BE REGRADED TO MATCH EXISTING SLOPES AND RESTABILIZED VIA PINED SODDING, OVERLAPPED SODDING OR EROSION CONTROL GEOSYNTHETIC FABRICS.
14. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE SYSTEM FUNCTIONALLY DURING CONSTRUCTION.



NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

Live Oak Lake
Community Development District

FY 2026
Approved Budget
May 15, 2025



Table of Contents

| | |
|-----|--|
| 1 | <u>General Fund</u> |
| 2-5 | <u>General Fund Narrative</u> |
| 6 | <u>Debt Service Fund Series 2016</u> |
| 7 | <u>Amortization Schedule - Debt Service Fund Series 2016</u> |
| 8 | <u>Debt Service Fund Series 2020</u> |
| 9 | <u>Amortization Schedule - Debt Service Fund Series 2020</u> |

Live Oak Lake

Community Development District

Proposed Budget

General Fund

| Description | Adopted
Budget
FY 2025 | Actual
Thru
4/30/25 | Projected
Next
5 Months | Total
Projected
9/30/25 | Approved
Budget
FY 2026 |
|---------------------------------------|------------------------------|---------------------------|-------------------------------|-------------------------------|-------------------------------|
| Revenues | | | | | |
| Assessments - Tax Collector (Net) | \$357,293 | \$355,306 | \$1,987 | \$357,293 | \$686,439 |
| Assessments - Off Roll (Platted) | \$95,439 | \$95,439 | \$0 | \$95,439 | \$0 |
| Assessments - Off Roll (Unplatted) | \$31,800 | \$31,800 | \$0 | \$31,800 | \$0 |
| Interest Income | \$0 | \$376 | \$376 | \$753 | \$0 |
| Direct Assessment - Pulte | \$0 | \$0 | \$0 | \$0 | \$76,824 |
| Direct Assessment - NLV | \$0 | \$0 | \$0 | \$0 | \$202,223 |
| Developer Deficit Funding | \$226,920 | \$0 | \$226,920 | \$226,920 | \$0 |
| Carryforward Surplus | \$106,135 | \$106,135 | \$0 | \$106,135 | \$0 |
| TOTAL REVENUES | \$817,587 | \$589,057 | \$229,283 | \$818,340 | \$965,487 |
| Expenditures | | | | | |
| Administrative | | | | | |
| Supervisor Fees | \$12,000 | \$2,600 | \$5,000 | \$7,600 | \$12,000 |
| FICA Expense | \$918 | \$199 | \$383 | \$581 | \$918 |
| Engineering | \$15,000 | \$1,715 | \$8,025 | \$9,740 | \$15,000 |
| Dissemination | \$5,250 | \$3,163 | \$2,188 | \$5,350 | \$5,408 |
| Assessment Roll | \$5,250 | \$5,250 | \$0 | \$5,250 | \$5,408 |
| Property Appraiser | \$600 | \$133 | \$0 | \$133 | \$600 |
| Arbitrage | \$1,150 | \$0 | \$1,100 | \$1,100 | \$1,150 |
| Attorney | \$30,000 | \$9,241 | \$9,241 | \$18,482 | \$25,000 |
| Annual Audit | \$5,100 | \$2,500 | \$2,600 | \$5,100 | \$5,300 |
| Trustee Fees | \$8,100 | \$8,081 | \$0 | \$8,081 | \$8,869 |
| Management Fees | \$42,500 | \$24,792 | \$17,708 | \$42,500 | \$43,775 |
| Information Technology | \$1,890 | \$1,103 | \$788 | \$1,890 | \$1,947 |
| Postage | \$1,450 | \$961 | \$686 | \$1,648 | \$1,450 |
| Copies | \$250 | \$99 | \$71 | \$169 | \$250 |
| Rentals and Leases | \$0 | \$49 | \$0 | \$49 | \$3,600 |
| Insurance | \$6,684 | \$6,501 | \$0 | \$6,501 | \$7,814 |
| Legal Advertising | \$2,500 | \$246 | \$2,302 | \$2,548 | \$2,500 |
| Other Current Charges | \$350 | \$0 | \$125 | \$125 | \$350 |
| Office Supplies | \$100 | \$2 | \$25 | \$27 | \$100 |
| Dues, Licenses & Subscriptions | \$175 | \$175 | \$0 | \$175 | \$175 |
| Website Hosting/Compliance | \$1,260 | \$735 | \$525 | \$1,260 | \$1,260 |
| TOTAL ADMINISTRATIVE | \$140,527 | \$67,543 | \$50,766 | \$118,309 | \$142,872 |
| Field | | | | | |
| Field Management | \$16,538 | \$9,647 | \$6,891 | \$16,538 | \$17,365 |
| Property Insurance | \$5,000 | \$4,050 | \$0 | \$4,050 | \$4,374 |
| Aquatic Control | \$51,200 | \$31,380 | \$21,876 | \$53,256 | \$55,000 |
| Mitigation Maintenance | \$2,000 | \$0 | \$2,000 | \$2,000 | \$0 |
| Midge Management | \$20,000 | \$9,890 | \$4,993 | \$14,883 | \$105,000 |
| Contingency | \$9,384 | \$0 | \$9,384 | \$9,384 | \$29,384 |
| Landscape Maintenance | \$286,000 | \$156,593 | \$108,500 | \$265,093 | \$282,000 |
| Landscaping Replacements | \$50,000 | \$3,249 | \$46,751 | \$50,000 | \$50,000 |
| Pond Fountain Maintenance | \$15,000 | \$1,440 | \$5,000 | \$6,440 | \$15,000 |
| Irrigation Consultant Services | \$6,000 | \$3,500 | \$2,500 | \$6,000 | \$6,000 |
| Irrigation Repairs | \$15,000 | \$10,253 | \$3,500 | \$13,753 | \$15,000 |
| General Repairs and Maintenance | \$15,000 | \$500 | \$5,000 | \$5,500 | \$15,000 |
| Electricity-Street Lights | \$43,694 | \$26,988 | \$19,277 | \$46,265 | \$50,892 |
| Electricity-Fountains | \$57,600 | \$393 | \$281 | \$674 | \$57,600 |
| Water-Irrigation | \$67,144 | \$57,123 | \$40,802 | \$97,924 | \$100,000 |
| Capital Reserve | \$17,500 | \$8,250 | \$9,250 | \$17,500 | \$20,000 |
| TOTAL FIELD | \$677,060 | \$323,256 | \$286,004 | \$609,260 | \$822,614 |
| TOTAL EXPENDITURES | \$817,587 | \$390,799 | \$336,771 | \$727,569 | \$965,487 |
| EXCESS REVENUES (EXPENDITURES) | \$0 | \$198,258 | (\$107,487) | \$90,771 | \$0 |

| | |
|----------------------------|--------------------|
| Net Assessment | \$965,487 |
| Discounts & Collections 6% | \$61,627 |
| Gross Assessment | <u>\$1,027,114</u> |

| Unit Type ⁽¹⁾ | Unit Count ⁽²⁾ | EAU ⁽¹⁾ | FY 2022
Gross Per Unit | FY 2023
Gross Per Unit | FY 2024
Gross Per Unit | FY 2025
Gross Per Unit | FY 2026
Gross Per Unit | Gross
Total |
|--------------------------|---------------------------|--------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|-----------------------|
| Duplex 35' | 504 | 0.7 | 238 | 237.67 | 249.55 | 249.55 | 378.37 | \$190,698.74 |
| 50' SF | 1,322 | 1.0 | 340 | 339.52 | 356.50 | 356.50 | 540.53 | \$714,579.73 |
| 70' SF | 161 | 1.4 | 475 | 475.33 | 499.10 | 499.10 | 756.74 | \$121,835.30 |
| | 1,987 | | | | | | | <u>\$1,027,113.77</u> |

¹Unplatted lands: O&M Assessments are initially allocated to anticipated units on the EAU basis shown above and then, if applicable, between undeveloped tracts with the same landowner on an equal assessment per acre basis. Note, for FY 2026, the District intends to assess anticipated units on undeveloped property at the same EAU/ERU level as platted units. This constitutes a change in allocation from FY 2023 - FY 2025, during which undeveloped lands were assessed only for the administrative costs in the budget resulting in an EAU of 0.19

² Includes both platted and anticipated units. Of the total, 532 are anticipated units (489 SF-50; 43 SF-70')

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

REVENUES:

Assessments-Tax Collector

The District will levy a non-ad valorem special assessment on all taxable property within the District to fund general operating and maintenance expenditures for the fiscal year. These assessments are billed on tax bills.

Assessments –Off Roll

The District will levy a non-ad valorem special assessment on all taxable property within the District to fund general operating and maintenance expenditures for the fiscal year. The District levies these assessments directly to the property owners.

Developer Funding

The District will enter into an agreement with the Developer to fund General Fund expenditures and up to a certain deficit for the Fiscal Year.

Interest Income

The District earns interest on the monthly average collected balance for their money market accounts.

EXPENDITURES:

Administrative:

Supervisor Fees

The Florida Statutes allows each board member to receive \$200 per meeting not to exceed \$4,800 in one year. The amount for the fiscal year is based upon all 5 supervisors attending the estimated 12 meetings.

FICA Taxes

Related payroll taxes of 7.65% for above.

Engineering Fees

The District's engineer will be providing general engineering services to the District including attendance and preparation for board meetings, etc.

Dissemination Agent

The District is required by the Security and Exchange Commission to comply with Rule 15(c)(2)-12(b)(5), which relates to additional reporting requirements for un-rated bond issues.

Assessment Roll

The District has contracted with Governmental Management Services to levy and administer the collection of non-ad valorem assessment on all assessable property within the District.

Property Appraiser

The District anticipates costs associated with services provided by the property appraiser's office.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Arbitrage

The District is required to annually have an arbitrage rebate calculation on the District's Series 2016 Capital Improvement Revenue Bonds and the Series 2020 Special Assessment Revenue Bonds.

Attorney

The District's legal counsel will be providing general legal services to the District, i.e., attendance and preparation for monthly meetings, review operating and maintenance contracts, etc.

Annual Audit

The District is required annually to conduct an audit of its financial records by an Independent Certified Public Accounting Firm.

Trustee Fees

The District issued Series 2016 Capital Improvement Revenue Bonds and Series 2020 Special Assessment Revenue Bonds which are held with a Trustee at US Bank. The amount of the trustee fees is based on the agreement between US Bank and the District.

Management Fees

The District has contracted with Governmental Management Services to provide Management, Accounting and Recording Secretary Services for the District. The services include, but are not limited to recording and transcription of board meetings, budget preparation, financial reporting, annual audit, etc.

Information Technology

Represents costs related to the District's information systems, which include but are not limited to video conferencing services, cloud storage services and servers, security, accounting software, etc..

Postage

Mailings, overnight deliveries, and correspondence, etc.

Copies

Printing of computerized checks, stationary, envelopes, invoices, etc.

Insurance

The District's General Liability & Public Officials Liability Insurance policy is with The Florida Insurance Alliance. They specialize in providing insurance coverage to governmental agencies.

Legal Advertising

The District is required to advertise various notices for monthly Board meetings, public hearings, etc. in a newspaper of general circulation.

Other Current Charges

Bank charges and any other miscellaneous expenses that are incurred during the year.

Office Supplies

Miscellaneous office supplies.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Dues, Licenses & Subscriptions

The District is required to pay an annual fee to the Florida Department of Commerce for \$175. This is the only expense under this category for the District.

Website Hosting/Compliance

Represents the cost associated with monitoring and maintaining the District's website created in accordance with Chapter 189, Florida Statutes. These services include site performance assessment, security and firewall maintenance, updates, document uploads, hosting and domain renewals, website backups, etc.

Field

Field Management

Governmental Management Services provides onsite field management of contracts such as landscape and lake maintenance, fountain maintenance, etc. Services include onsite inspections, meetings with contractors, monitoring of utility accounts, attend Board meetings, receive and respond to property owner email and phone calls.

Property Insurance

The District will bind a Property Insurance policy with Florida Insurance Alliance (FIA). FIA specializes in providing insurance coverage to governmental agencies.

Aquatic Control

Represents the cost for maintenance to the 23 stormwater ponds located within the District. Services include, but are not limited to, treatment of nuisance vegetation and algae treatment.

Mitigation, Monitoring, and Maintenance

Post permit and mitigation compliance, bi-annual maintenance events, time-zeroing monitoring and reporting and annual monitoring and reporting as defined in District Engineer's work authorizations.

Midge Management

Includes funding for deep water spray treatment, shoreline barrier and fogging to reduce midge population on an as needed basis.

Contingency-Field

Any unanticipated expenditure that may arise during the fiscal year.

Landscape Maintenance

The District contracts for landscape maintenance of certain common areas such as mowing, edging, blowing, fertilization, trimming and mowing around stormwater ponds.

Landscape Replacement

Replacement of plants needed throughout the District.

Pond Fountain Maintenance

Repairs and maintenance to the District's eight fountains.

Irrigation Consultant Services

The district has contracted with Irrigation Management Consulting to maintain the irrigation systems.

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

GENERAL FUND BUDGET
FISCAL YEAR 2026

Irrigation Repairs

Represents funds needed for repairs to the irrigation system of the district.

Electricity-Streetlights

The cost of electricity for Live Oak Lake CDD.

Water-Irrigation

The cost of water, sewer, and irrigation services for Live Oak Lake CDD.

Live Oak Lake

Community Development District

Proposed Budget

Debt Service Fund - Series 2016

| Description | Adopted
Budget
FY 2025 | Actual
Thru
4/30/25 | Projected
Next
5 Months | Total
Projected
9/30/25 | Approved
Budget
FY 2026 |
|-------------------------------------|------------------------------|---------------------------|-------------------------------|-------------------------------|-------------------------------|
| Revenues | | | | | |
| Interest Income | \$5,000 | \$31,614 | \$22,581 | \$54,195 | \$5,000 |
| Assessments - On Roll (Net) | \$954,030 | \$947,762 | \$6,267 | \$954,030 | \$954,030 |
| Assessments - Prepayments | \$0 | \$0 | \$0 | \$0 | \$0 |
| Carryforward Surplus ⁽¹⁾ | \$509,632 | \$1,015,691 | \$0 | \$1,015,691 | \$574,993 |
| TOTAL REVENUES | \$1,468,662 | \$1,995,066 | \$28,849 | \$2,023,915 | \$1,534,023 |

Expenditures

Series 2016

| | | | | | |
|---------------------------|------------------|------------------|------------------|------------------|------------------|
| Interest - 11/01 | \$308,991 | \$308,991 | \$0 | \$308,991 | \$300,994 |
| Interest - 05/01 | \$308,991 | \$0 | \$308,644 | \$308,644 | \$300,994 |
| Principal - 05/01 | \$340,000 | \$0 | \$340,000 | \$340,000 | \$355,000 |
| Special Call - 11/01 | \$0 | \$15,000 | \$0 | \$15,000 | \$0 |
| TOTAL EXPENDITURES | \$957,981 | \$323,991 | \$648,644 | \$972,634 | \$956,988 |

Other Financing Sources and (Uses)

| | | | | | |
|---|------------|--------------------|------------|--------------------|------------|
| Interfund Transfer | \$0 | (\$476,288) | \$0 | (\$476,288) | \$0 |
| TOTAL OTHER FINANCING SOURCES AND USES | \$0 | (\$476,288) | \$0 | (\$476,288) | \$0 |

| | | | | | |
|------------------------|------------------|--------------------|--------------------|------------------|------------------|
| EXCESS REVENUES | \$510,681 | \$1,194,788 | (\$619,795) | \$574,993 | \$577,035 |
|------------------------|------------------|--------------------|--------------------|------------------|------------------|

11/26 Interest \$293,006

| Unit
Type | No. of
Units | Gross Assessment
Per Unit Amount | Total |
|--------------|-----------------|-------------------------------------|-----------------------|
| Duplex 35' | 350 | \$975.00 | \$341,250.00 |
| 50' SF | 506 | \$1,025.00 | \$518,650.00 |
| 70' SF | 117 | \$1,325.00 | \$155,025.00 |
| | 973 | | <u>\$1,014,925.00</u> |
| | | Less Discount/Collection Fees | <u>(\$60,895.50)</u> |
| | | Net Assessment | \$954,029.50 |

⁽¹⁾ Carry forward surplus is net of the reserve requirement

Live Oak Lake

Community Development District

Amortization Schedule

Series 2016, Capital Improvement Revenue Bonds

| DATE | BALANCE | PRINCIPAL | INTEREST | TOTAL |
|--------------|-------------------------|------------------------|-------------------------|---------------|
| 05/01/25 | \$ 13,490,000 | \$ 340,000.00 | \$ 308,643.75 | \$ - |
| 11/01/25 | \$ 13,150,000 | \$ - | \$ 300,993.75 | \$ 949,637.50 |
| 05/01/26 | \$ 13,150,000 | \$ 355,000.00 | \$ 300,993.75 | \$ - |
| 11/01/26 | \$ 12,795,000 | \$ - | \$ 293,006.25 | \$ 949,000.00 |
| 05/01/27 | \$ 12,795,000 | \$ 375,000.00 | \$ 293,006.25 | \$ - |
| 11/01/27 | \$ 12,420,000 | \$ - | \$ 284,568.75 | \$ 952,575.00 |
| 05/01/28 | \$ 12,420,000 | \$ 390,000.00 | \$ 284,568.75 | \$ - |
| 11/01/28 | \$ 12,030,000 | \$ - | \$ 275,793.75 | \$ 950,362.50 |
| 05/01/29 | \$ 12,030,000 | \$ 410,000.00 | \$ 275,793.75 | \$ - |
| 11/01/29 | \$ 11,620,000 | \$ - | \$ 266,568.75 | \$ 952,362.50 |
| 05/01/30 | \$ 11,620,000 | \$ 425,000.00 | \$ 266,568.75 | \$ - |
| 11/01/30 | \$ 11,195,000 | \$ - | \$ 257,006.25 | \$ 948,575.00 |
| 05/01/31 | \$ 11,195,000 | \$ 445,000.00 | \$ 257,006.25 | \$ - |
| 11/01/31 | \$ 10,750,000 | \$ - | \$ 246,993.75 | \$ 949,000.00 |
| 05/01/32 | \$ 10,750,000 | \$ 465,000.00 | \$ 246,993.75 | \$ - |
| 11/01/32 | \$ 10,285,000 | \$ - | \$ 236,531.25 | \$ 948,525.00 |
| 05/01/33 | \$ 10,285,000 | \$ 490,000.00 | \$ 236,531.25 | \$ - |
| 11/01/33 | \$ 9,795,000 | \$ - | \$ 225,506.25 | \$ 952,037.50 |
| 05/01/34 | \$ 9,795,000 | \$ 510,000.00 | \$ 225,506.25 | \$ - |
| 11/01/34 | \$ 9,285,000 | \$ - | \$ 214,031.25 | \$ 949,537.50 |
| 05/01/35 | \$ 9,285,000 | \$ 535,000.00 | \$ 214,031.25 | \$ - |
| 11/01/35 | \$ 8,750,000 | \$ - | \$ 201,993.75 | \$ 951,025.00 |
| 05/01/36 | \$ 8,750,000 | \$ 560,000.00 | \$ 201,993.75 | \$ - |
| 11/01/36 | \$ 8,190,000 | \$ - | \$ 189,393.75 | \$ 951,387.50 |
| 05/01/37 | \$ 8,190,000 | \$ 585,000.00 | \$ 189,393.75 | \$ - |
| 11/01/37 | \$ 7,605,000 | \$ - | \$ 175,865.63 | \$ 950,259.38 |
| 05/01/38 | \$ 7,605,000 | \$ 615,000.00 | \$ 175,865.63 | \$ - |
| 11/01/38 | \$ 6,990,000 | \$ - | \$ 161,643.75 | \$ 952,509.38 |
| 05/01/39 | \$ 6,990,000 | \$ 640,000.00 | \$ 161,643.75 | \$ - |
| 11/01/39 | \$ 6,350,000 | \$ - | \$ 146,843.75 | \$ 948,487.50 |
| 05/01/40 | \$ 6,350,000 | \$ 670,000.00 | \$ 146,843.75 | \$ - |
| 11/01/40 | \$ 5,680,000 | \$ - | \$ 131,350.00 | \$ 948,193.75 |
| 05/01/41 | \$ 5,680,000 | \$ 705,000.00 | \$ 131,350.00 | \$ - |
| 11/01/41 | \$ 4,975,000 | \$ - | \$ 115,046.88 | \$ 951,396.88 |
| 05/01/42 | \$ 4,975,000 | \$ 735,000.00 | \$ 115,046.88 | \$ - |
| 11/01/42 | \$ 4,240,000 | \$ - | \$ 98,050.00 | \$ 948,096.88 |
| 05/01/43 | \$ 4,240,000 | \$ 770,000.00 | \$ 98,050.00 | \$ - |
| 11/01/43 | \$ 3,470,000 | \$ - | \$ 80,243.75 | \$ 948,293.75 |
| 05/01/44 | \$ 3,470,000 | \$ 810,000.00 | \$ 80,243.75 | \$ - |
| 11/01/44 | \$ 2,660,000 | \$ - | \$ 61,512.50 | \$ 951,756.25 |
| 05/01/45 | \$ 2,660,000 | \$ 845,000.00 | \$ 61,512.50 | \$ - |
| 11/01/45 | \$ 1,815,000 | \$ - | \$ 41,971.88 | \$ 948,484.38 |
| 05/01/46 | \$ 1,815,000 | \$ 885,000.00 | \$ 41,971.88 | \$ - |
| 11/01/46 | \$ 930,000 | \$ - | \$ 21,506.25 | \$ 948,478.13 |
| 05/01/47 | \$ 930,000 | \$ 930,000.00 | \$ 21,506.25 | \$ 951,506.25 |
| Total | \$ 13,490,000.00 | \$ 8,361,487.50 | \$ 21,851,487.50 | |

Live Oak Lake

Community Development District

Proposed Budget

Debt Service Fund - Series 2020

| Description | Adopted
Budget
FY 2025 | Actual
Thru
4/30/25 | Projected
Next
5 Months | Total
Projected
9/30/25 | Approved
Budget
FY 2026 |
|-------------------------------------|------------------------------|---------------------------|-------------------------------|-------------------------------|-------------------------------|
| Revenues | | | | | |
| Interest Income | \$5,000 | \$25,678 | \$18,341 | \$44,019 | \$5,000 |
| Assessments - On Roll (Net) | \$143,562 | \$142,763 | \$799 | \$143,562 | \$143,562 |
| Assessments - Direct | \$846,376 | \$567,072 | \$279,304 | \$846,376 | \$846,376 |
| Carryforward Surplus ⁽¹⁾ | \$452,102 | \$457,424 | \$0 | \$457,424 | \$501,598 |
| TOTAL REVENUES | \$1,447,039 | \$1,192,937 | \$298,444 | \$1,491,381 | \$1,496,536 |
| Expenditures | | | | | |
| Series 2020 | | | | | |
| Interest - 11/01 | \$339,894 | \$339,894 | \$0 | \$339,894 | \$335,050 |
| Interest - 05/01 | \$339,894 | \$0 | \$339,894 | \$339,894 | \$335,050 |
| Principal - 05/01 | \$310,000 | \$0 | \$310,000 | \$310,000 | \$325,000 |
| TOTAL EXPENDITURES | \$989,788 | \$339,894 | \$649,894 | \$989,788 | \$995,100 |
| EXCESS REVENUES | \$457,252 | \$853,045 | (\$351,447) | \$501,598 | \$501,436 |

11/26 Interest \$328,875

| Unit
Type | No. of
Units | Gross Assessment
Per Unit Amount | Total |
|---------------------|-----------------|-------------------------------------|---------------------|
| Duplex 35 FT Lot | 238 | \$975.00 | \$232,050.00 |
| Single Family - 50' | 739 | \$1,025.00 | \$757,475.00 |
| Single Family - 70' | 48 | \$1,325.00 | \$63,600.00 |
| | 1025 | | \$1,053,125.00 |
| | | Less Discount/Collection Fees | (\$63,187.50) |
| | | Net Assessment | \$989,937.50 |

⁽¹⁾ Carry forward surplus is net of the reserve requirement

Live Oak Lake

Community Development District

Amortization Schedule

Series 2020, Special Assessment Revenue Bonds

| DATE | BALANCE | PRINCIPAL | INTEREST | TOTAL |
|--------------|---------------|-------------------------|-------------------------|-------------------------|
| 05/01/25 | \$ 15,390,000 | \$ 310,000.00 | \$ 339,893.75 | \$ - |
| 11/01/25 | \$ 15,080,000 | \$ - | \$ 335,050.00 | \$ 984,943.75 |
| 05/01/26 | \$ 15,080,000 | \$ 325,000.00 | \$ 335,050.00 | \$ - |
| 11/01/26 | \$ 14,755,000 | \$ - | \$ 328,875.00 | \$ 988,925.00 |
| 05/01/27 | \$ 14,755,000 | \$ 335,000.00 | \$ 328,875.00 | \$ - |
| 11/01/27 | \$ 14,420,000 | \$ - | \$ 322,510.00 | \$ 986,385.00 |
| 05/01/28 | \$ 14,420,000 | \$ 350,000.00 | \$ 322,510.00 | \$ - |
| 11/01/28 | \$ 14,070,000 | \$ - | \$ 315,860.00 | \$ 988,370.00 |
| 05/01/29 | \$ 14,070,000 | \$ 360,000.00 | \$ 315,860.00 | \$ - |
| 11/01/29 | \$ 13,710,000 | \$ - | \$ 309,020.00 | \$ 984,880.00 |
| 05/01/30 | \$ 13,710,000 | \$ 375,000.00 | \$ 309,020.00 | \$ - |
| 11/01/30 | \$ 13,335,000 | \$ - | \$ 301,895.00 | \$ 985,915.00 |
| 05/01/31 | \$ 13,335,000 | \$ 390,000.00 | \$ 301,895.00 | \$ - |
| 11/01/31 | \$ 12,945,000 | \$ - | \$ 293,315.00 | \$ 985,210.00 |
| 05/01/32 | \$ 12,945,000 | \$ 410,000.00 | \$ 293,315.00 | \$ - |
| 11/01/32 | \$ 12,535,000 | \$ - | \$ 284,295.00 | \$ 987,610.00 |
| 05/01/33 | \$ 12,535,000 | \$ 430,000.00 | \$ 284,295.00 | \$ - |
| 11/01/33 | \$ 12,105,000 | \$ - | \$ 274,835.00 | \$ 989,130.00 |
| 05/01/34 | \$ 12,105,000 | \$ 445,000.00 | \$ 274,835.00 | \$ - |
| 11/01/34 | \$ 11,660,000 | \$ - | \$ 265,045.00 | \$ 984,880.00 |
| 05/01/35 | \$ 11,660,000 | \$ 465,000.00 | \$ 265,045.00 | \$ - |
| 11/01/35 | \$ 11,195,000 | \$ - | \$ 254,815.00 | \$ 984,860.00 |
| 05/01/36 | \$ 11,195,000 | \$ 490,000.00 | \$ 254,815.00 | \$ - |
| 11/01/36 | \$ 10,705,000 | \$ - | \$ 244,035.00 | \$ 988,850.00 |
| 05/01/37 | \$ 10,705,000 | \$ 510,000.00 | \$ 244,035.00 | \$ - |
| 11/01/37 | \$ 10,195,000 | \$ - | \$ 232,815.00 | \$ 986,850.00 |
| 05/01/38 | \$ 10,195,000 | \$ 535,000.00 | \$ 232,815.00 | \$ - |
| 11/01/38 | \$ 9,660,000 | \$ - | \$ 221,045.00 | \$ 988,860.00 |
| 05/01/39 | \$ 9,660,000 | \$ 555,000.00 | \$ 221,045.00 | \$ - |
| 11/01/39 | \$ 9,105,000 | \$ - | \$ 208,835.00 | \$ 984,880.00 |
| 05/01/40 | \$ 9,105,000 | \$ 580,000.00 | \$ 208,835.00 | \$ - |
| 11/01/40 | \$ 8,525,000 | \$ - | \$ 196,075.00 | \$ 984,910.00 |
| 05/01/41 | \$ 8,525,000 | \$ 610,000.00 | \$ 196,075.00 | \$ - |
| 11/01/41 | \$ 7,915,000 | \$ - | \$ 182,045.00 | \$ 988,120.00 |
| 05/01/42 | \$ 7,915,000 | \$ 640,000.00 | \$ 182,045.00 | \$ - |
| 11/01/42 | \$ 7,275,000 | \$ - | \$ 167,325.00 | \$ 989,370.00 |
| 05/01/43 | \$ 7,275,000 | \$ 670,000.00 | \$ 167,325.00 | \$ - |
| 11/01/43 | \$ 6,605,000 | \$ - | \$ 151,915.00 | \$ 989,240.00 |
| 05/01/44 | \$ 6,605,000 | \$ 700,000.00 | \$ 151,915.00 | \$ - |
| 11/01/44 | \$ 5,905,000 | \$ - | \$ 135,815.00 | \$ 987,730.00 |
| 05/01/45 | \$ 5,905,000 | \$ 730,000.00 | \$ 135,815.00 | \$ - |
| 11/01/45 | \$ 5,175,000 | \$ - | \$ 119,025.00 | \$ 984,840.00 |
| 05/01/46 | \$ 5,175,000 | \$ 765,000.00 | \$ 119,025.00 | \$ - |
| 11/01/46 | \$ 4,410,000 | \$ - | \$ 101,430.00 | \$ 985,455.00 |
| 05/01/47 | \$ 4,410,000 | \$ 805,000.00 | \$ 101,430.00 | \$ - |
| 11/01/47 | \$ 3,605,000 | \$ - | \$ 82,915.00 | \$ 989,345.00 |
| 05/01/48 | \$ 3,605,000 | \$ 840,000.00 | \$ 82,915.00 | \$ - |
| 11/01/48 | \$ 2,765,000 | \$ - | \$ 63,595.00 | \$ 986,510.00 |
| 05/01/49 | \$ 2,765,000 | \$ 880,000.00 | \$ 63,595.00 | \$ - |
| 11/01/49 | \$ 1,885,000 | \$ - | \$ 43,355.00 | \$ 986,950.00 |
| 05/01/50 | \$ 1,885,000 | \$ 920,000.00 | \$ 43,355.00 | \$ - |
| 11/01/50 | \$ 965,000 | \$ - | \$ 22,195.00 | \$ 985,550.00 |
| 05/01/51 | \$ 965,000 | \$ 965,000.00 | \$ 22,195.00 | \$ 987,195.00 |
| Total | | \$ 15,390,000.00 | \$ 11,255,763.75 | \$ 26,645,763.75 |

SECTION C

SECTION 1



Clarke Environmental Mosquito Management, Inc.

2026 Midge Service Agreement | Live Oak Lake Community

Development District 219 E. Livingston St Orlando Florida 32801

Part I. General Service

- A. Computer System and Record Keeping Database
- B. Public Relations and Educational Brochures
- C. Mosquito Hotline Citizen Response – (800) 443-2034
- D. Comprehensive Insurance Coverage **Live Oak Lake CDD**
- E. Program Consulting and Quality Control Staff
- F. Regulatory compliance on local, state, and federal levels

Part II. Larval Midge Control

- A. Prescription Larval Control will be performed with OMRI (Organic Materials Review Institute) labeled Natular G30® mosquito/midge larvicide as described in the following sections.
- B. 1 (one) monthly treatment of ponds 2, 3, 13, 14, 15 each month from January to December using OMRI labeled Natular G30® pellets, or an equivalent 30 day residual product. Treatment will be completed utilizing backpack equipment to cover a 15' perimeter zone around the edge of the lake to target Chironomidae or "edge midges."

Part III. Adult Midge Control

- A. Adulticiding in midge harborage areas
 - 1. 44 weekly Truck ULV treatment of roads bordering ponds 2, 3, 13, 14, 15 February to November up to 2.69 mile using Biomist® or synthetic pyrethroid insecticide.
 - 2. 44 weekly ATV ULV treatment of ponds 2, 3, 13, 14, 15 each month from February to November up to 1.82 miles using Biomist® or synthetic pyrethroid insecticide.
 - 3. 44 barrier treatment to monthly as needed shrubbery/trees bordering ponds 2, 3, 13, 14, 15, each month from February to November up to 1.64 miles to reduce re-infestation using a pyrethroid insecticide for residual control of adult mosquitoes.
- B. Adulticiding Operational Procedures
 - 1. Notification of community contact.
 - 2. Weather limit monitoring and compliance.
 - 3. ULV particle size evaluation.
 - 4. Insecticide dosage and quality control analysis.

EMM Payment Total Cost for Parts I and II

\$42,351.30

****NPDES Permit:** A National Pollutant Discharge Elimination System (NPDES) permit is necessary for the execution of the work for mosquito control effective October 31, 2011. Any additional costs associated with activities and/or services that may be required by Clarke in order to comply with an NPDES permit are not included in this proposal.



Clarke Environmental Mosquito Management, Inc.

2026 Midge Service Agreement | Live Oak Lake Community

Development District 219 E. Livingston St Orlando Florida 32801

- I. **Program Payment Plan:** For Parts I, II, III as specified in the 2025-26, Professional Services Cost Outline, the total for the program is **\$42,351.20**. The payments will be due on according to the payment schedule below. Any additional treatments beyond the core program will be invoiced when the treatment is completed.

II.

PROGRAM PAYMENT PLAN

| Month | 2025-26 |
|--------------|--------------------|
| October | \$3,529.28 |
| November | \$3,529.28 |
| December | \$3,529.28 |
| January | \$3,529.28 |
| February | \$3,529.28 |
| March | \$3,529.28 |
| April | \$3,529.28 |
| May | \$3,529.28 |
| June | \$3,529.28 |
| July | \$3,529.28 |
| August | \$3,529.28 |
| September | \$3,529.22 |
| TOTAL | \$42,351.30 |

III. Approved Contract Period and Agreement

Please check one of the following contract periods:

☐ 2025-26 Season

If you would like to pay by credit card please provide the information to your control consultant.

For Customer: Live Oak Lake CDD

Sign Name: _____ Title: _____ Date: _____

For Clarke Environmental Mosquito Management Inc.:

Name: _____ Title: Control Consultant Date: _____
Cherrief Jackson



Clarke Environmental Mosquito Management, Inc.

2026 Midge Service Agreement | Live Oak Lake Community

Development District 219 E. Livingston St Orlando Florida 32801

Administrative Information:

Invoices should be sent to:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Office Phone: _____ Fax: _____ P.O.# _____

Email: _____ County: _____

****In an effort to be more sustainable, we ask that you provide us with an
Email address that the invoices should be sent to.****

Treatment Address (if different from above):

Address: _____

City: _____ State: _____ Zip: _____

County: _____

Contact Person for Live Oak Lake CDD:

Name: _____ Title: _____

Office Phone: _____ Fax: _____ E-Mail: _____



Clarke Environmental Mosquito Management, Inc.
2026 Midge Service Agreement | Live Oak Lake Community
Development District 219 E. Livingston St Orlando Florida 32801

Home Phone: _____ Cell: _____ Pager: _____

Alternate Contact Person for Live Oak Lake CDD

Name: _____ Title: _____

Office Phone: _____ Fax: _____ E-Mail: _____

Home Phone: _____ Cell: _____ Pager: _____

Please sign and return a copy of the complete contract for our files to:
Clarke Environmental Mosquito Management, Inc., Attn: Crystal Challacombe
3036 Michigan Avenue, Kissimmee, FL 34744; Fax number 407-944-0709

SECTION D

SECTION 1

LIVE OAK LAKE

COMMUNITY DEVELOPMENT DISTRICT

Check Run Summary

July 17, 2025

GENERAL FUND

| Date | Check Numbers | Amount |
|----------|---------------|-------------|
| 06/19/25 | 698-702 | \$10,159.97 |
| 07/09/25 | 703-711 | \$83,376.39 |
| Total | | \$93,536.36 |

| CHECK
DATE | VEND# |INVOICE.....
DATE INVOICE | ...EXPENSED TO...
YRMO DPT ACCT# SUB SUBCLASS | VENDOR NAME | STATUS | AMOUNT |CHECK.....
AMOUNT # |
|-------------------------------|-------|-----------------------------------|--|---------------------------|--------|-----------|-----------------------------|
| 6/19/25 | 00042 | 6/19/25 9077715 | 202506 310-51300-42000 | SVCS 06/25 | * | 522.78 | |
| 6/19/25 | | 6/19/25 9077715 | 202506 310-51300-51000 | SVCS 06/25 | * | 211.91 | |
| 6/19/25 | | 6/19/25 9077715 | 202506 310-51300-42500 | SVCS 06/25 | * | 425.55 | |
| ACTION MAIL SERVICES | | | | | | | 1,160.24 000698 |
| 6/19/25 | 00045 | 6/16/25 156008 | 202505 320-53800-35001 | REPAIRS 05/25 | * | 2,257.72 | |
| BLADE RUNNERS COMMERICAL | | | | | | | 2,257.72 000699 |
| 6/19/25 | 00036 | 6/16/25 00103680 | 202506 320-53800-46801 | SVCS 06/25 | * | 998.65 | |
| CLARKE ENVIRONMENTAL MOSQUITO | | | | | | | 998.65 000700 |
| 6/19/25 | 00010 | 6/03/25 96966129 | 202504 310-51300-42000 | SVCS 04/25 | * | 3.96 | |
| 6/10/25 | | 88885012 | 202506 310-51300-42000 | DELIVERY THRU 06/05/25 | * | 49.57 | |
| FEDEX | | | | | | | 53.53 000701 |
| 6/19/25 | 00001 | 6/01/25 148 | 202506 320-53800-34000 | FIELD MGMT 06/25 | * | 1,378.17 | |
| 6/01/25 | | 149 | 202506 310-51300-34000 | MGMT FEE 06/25 | * | 3,541.67 | |
| 6/01/25 | | 149 | 202506 310-51300-35101 | WEBSITE ADMIN 06/25 | * | 105.00 | |
| 6/01/25 | | 149 | 202506 310-51300-35100 | INFO TECH 06/25 | * | 157.50 | |
| 6/01/25 | | 149 | 202506 310-51300-31300 | DISSEMINATION AGENT SVCS | * | 437.50 | |
| 6/01/25 | | 149 | 202506 310-51300-51000 | OFFICE SUPPLIES 06/25 | * | .39 | |
| 6/01/25 | | 149 | 202506 310-51300-42000 | POSTAGE 06/25 | * | 40.05 | |
| 6/01/25 | | 149 | 202506 310-51300-42500 | COPIES 06/25 | * | 29.55 | |
| GMS-CENTRAL FLORIDA, LLC | | | | | | | 5,689.83 000702 |
| 7/09/25 | 00045 | 7/01/25 158278 | 202507 320-53800-46200 | JULY 25 LANDSCAPE MAINT. | * | 21,700.00 | |
| BLADE RUNNERS COMMERICAL | | | | | | | 21,700.00 000703 |
| 7/09/25 | 00006 | 6/27/25 22453483 | 202505 310-51300-31100 | ENGINEERING FEES-MAY 2025 | * | 420.00 | |

LOKS LIVE OAK LAKES SHENNING

| CHECK
DATE | VEND# |INVOICE.....
DATE INVOICE | ...EXPENSED TO...
YRMO DPT ACCT# SUB SUBCLASS | VENDOR NAME | STATUS | AMOUNT |CHECK.....
AMOUNT # |
|---------------|-------|-----------------------------------|--|----------------------------------|--------|-----------|----------------------------|
| | | 6/27/25 | 22453487 202506 320-53800-46300 | STORMWATER REPORT-2025 | * | 1,440.00 | |
| | | | | DEWBERRY ENGINEERS INC. | | | 1,860.00 000704 |
| 7/09/25 | 00010 | 6/17/25 | 88967864 202506 310-51300-42000 | DELIVERIES THRU 06/17/25 | * | 50.42 | |
| | | 7/01/25 | 89107812 202506 310-51300-42000 | DELIVERIES THRU 07/01/25 | * | 51.98 | |
| | | | | FEDEX | | | 102.40 000705 |
| 7/09/25 | 00030 | 7/01/25 | 27717-34 202507 320-53800-35000 | IRR MGMT FEES | * | 500.00 | |
| | | | | IRRIGATION MANAGEMENT CONSULTING | | | 500.00 000706 |
| 7/09/25 | 00033 | 6/30/25 | 3585386 202505 300-13100-10000 | LEGAL FEES THRU 5/31/25 | * | 437.00 | |
| | | 6/30/25 | 3585386 202505 310-51300-31500 | LEGAL FEES THRU 5/31/25 | * | 437.00 | |
| | | 6/30/25 | 3585386 202505 300-20700-10000 | LEGAL FEES THRU 5/31/25 | * | 437.00- | |
| | | 7/08/25 | 3594108 202505 310-51300-31500 | LEGAL FEES THRU 5/31/25 | * | 2,242.00 | |
| | | | | KUTAK ROCK LLP | | | 2,679.00 000707 |
| 7/09/25 | 00004 | 7/09/25 | 070925 202507 300-20700-10000 | TRANSFER TAX RECEIPTS | * | 27,163.99 | |
| | | | | LIVE OAK LAKE CDD | | | 27,163.99 000708 |
| 7/09/25 | 00039 | 7/09/25 | 070925 202507 300-20700-10000 | TRANSFER TAX RECEIPTS | * | 4,091.75 | |
| | | | | LIVE OAK LAKE CDD | | | 4,091.75 000709 |
| 7/09/25 | 00018 | 6/12/25 | 11861896 202506 310-51300-48000 | NOTICE OF PUBLIC HEARING | * | 238.18 | |
| | | | | ORLANDO SENTINEL | | | 238.18 000710 |
| 7/09/25 | 00032 | 6/25/25 | PSI17896 202506 320-53800-46810 | FOUNTAIN/AERATOR REPAIRS | * | 410.00 | |
| | | 6/26/25 | PSI17898 202506 320-53800-46810 | FOUNTAIN/AERATOR REPAIRS | * | 670.00 | |
| | | 7/01/25 | PSI18130 202507 320-53800-46800 | JULY 25 LAKE MAINTENANCE | * | 2,901.18 | |
| | | 7/01/25 | PSI18405 202507 320-53800-46800 | JULY 25 LAKE MAINTENANCE | * | 1,474.00 | |
| | | | | SOLITUDE LAKE MANAGEMENT | | | 5,455.18 000711 |
| | | | | LOKS LIVE OAK LAKES SHENNING | | | |

| CHECK
DATE | VEND# |INVOICE.....
DATE INVOICE | ...EXPENSED TO...
YRMO DPT ACCT# SUB SUBCLASS | VENDOR NAME | STATUS | AMOUNT |CHECK.....
AMOUNT # |
|------------------------------|-------|-----------------------------------|--|-------------------------|--------|-----------|-----------------------------|
| 7/09/25 | 00035 | 6/11/25 02232634 | 202506 320-53800-43000 | SERVICE THRU 06/11/2025 | * | 28.68 | |
| | | 6/11/25 02232634 | 202506 320-53800-43000 | SERVICE THRU 06/11/2025 | * | 29.07 | |
| | | 6/11/25 02232634 | 202506 320-53800-43001 | SERVICE THRU 06/11/2025 | * | 3,859.62 | |
| ORLANDO UTILITIES COMMISSION | | | | | | | 3,917.37 000712 |
| 7/09/25 | 00037 | 6/18/25 62619-06 | 202506 320-53800-43100 | SERVICE THRU 06/12/2025 | * | 12,945.51 | |
| TOHO WATER AUTHORITY | | | | | | | 12,945.51 000713 |
| 7/09/25 | 00037 | 6/18/25 62746-06 | 202506 320-53800-43100 | SERVICE THRU 06/12/2025 | * | 2,723.01 | |
| TOHO WATER AUTHORITY | | | | | | | 2,723.01 000714 |
| TOTAL FOR BANK B | | | | | | 93,536.36 | |
| TOTAL FOR REGISTER | | | | | | 93,536.36 | |

LOKS LIVE OAK LAKES SHENNING

LIVE OAK LAKE
COMMUNITY DEVELOPMENT DISTRICT
Special Assessment Receipts
Fiscal Year 2025

ASSESSMENTS - TAX COLLECTOR

| | | | | | | | \$380,100.30
FY 2025
.36300.10000
24.57% | \$1,013,900.00
FY 2025
.36300.10000
65.55% | \$152,725.00
FY 2025
.36300.10000
9.87% | \$1,546,725.30
TOTAL
100.00% |
|--------------|----------------------|-----------------------|---------------------|--------------------|-------------------|-----------------------|---|---|--|------------------------------------|
| DATE | DESCRIPTION | GROSS AMOUNT | DISCOUNTS/PENALTIES | COMMISSIONS | INTEREST | NET RECEIPTS | O&M Portion | 16 DSF Portion | 20 DSF Portion | Total |
| 11/18/24 | CURRENT DISTRIBUTION | \$15,147.45 | \$777.15 | \$287.41 | \$0.00 | \$14,082.89 | \$3,460.80 | \$9,231.53 | \$1,390.56 | \$14,082.89 |
| 11/21/24 | CURRENT DISTRIBUTION | \$244,762.40 | \$9,790.31 | \$4,699.44 | \$0.00 | \$230,272.65 | \$56,588.40 | \$150,946.93 | \$22,737.32 | \$230,272.65 |
| 12/10/24 | CURRENT DISTRIBUTION | \$1,017,216.60 | \$40,687.90 | \$19,530.57 | \$0.00 | \$956,998.13 | \$235,177.69 | \$627,325.62 | \$94,494.83 | \$956,998.13 |
| 12/19/24 | CURRENT DISTRIBUTION | \$181,205.65 | \$7,068.92 | \$3,482.73 | \$0.00 | \$170,654.00 | \$41,937.40 | \$111,866.08 | \$16,850.52 | \$170,654.00 |
| 01/07/25 | CURRENT DISTRIBUTION | \$20,666.00 | \$619.99 | \$400.91 | \$0.00 | \$19,645.10 | \$4,827.69 | \$12,877.64 | \$1,939.77 | \$19,645.10 |
| 01/07/25 | INSTALLMENTS | \$7,105.86 | \$213.18 | \$137.87 | \$0.00 | \$6,754.81 | \$1,659.96 | \$4,427.87 | \$666.98 | \$6,754.81 |
| 01/28/25 | INTEREST | \$0.00 | \$0.00 | \$0.00 | \$1,201.31 | \$1,201.31 | \$295.22 | \$787.48 | \$118.62 | \$1,201.31 |
| 02/07/25 | CURRENT DISTRIBUTION | \$18,713.20 | \$374.26 | \$366.78 | \$0.00 | \$17,972.16 | \$4,416.57 | \$11,781.00 | \$1,774.59 | \$17,972.16 |
| 02/07/25 | INSTALLMENTS | \$622.18 | \$9.33 | \$12.26 | \$0.00 | \$600.59 | \$147.59 | \$393.70 | \$59.30 | \$600.59 |
| 03/08/25 | INSTALLMENTS | \$1,517.89 | \$0.00 | \$30.35 | \$0.00 | \$1,487.54 | \$365.56 | \$975.10 | \$146.88 | \$1,487.54 |
| 03/08/25 | CURRENT DISTRIBUTION | \$5,369.05 | \$53.70 | \$106.31 | \$0.00 | \$5,209.04 | \$1,280.10 | \$3,414.60 | \$514.35 | \$5,209.04 |
| 04/08/25 | CURRENT DISTRIBUTION | \$14,828.90 | \$18.24 | \$296.21 | \$0.00 | \$14,514.45 | \$3,566.86 | \$9,514.42 | \$1,433.17 | \$14,514.45 |
| 04/08/25 | INSTALLMENTS | \$6,498.77 | \$0.00 | \$129.98 | \$0.00 | \$6,368.79 | \$1,565.10 | \$4,174.83 | \$628.86 | \$6,368.79 |
| 04/30/25 | INTEREST | \$0.00 | \$0.00 | \$0.00 | \$68.97 | \$68.97 | \$16.95 | \$45.21 | \$6.81 | \$68.97 |
| 05/09/25 | CURRENT DISTRIBUTION | \$5,654.70 | (\$169.65) | \$116.49 | \$0.00 | \$5,707.86 | \$1,402.68 | \$3,741.58 | \$563.60 | \$5,707.86 |
| 05/09/25 | INSTALLMENTS | \$661.75 | (\$19.86) | \$13.63 | \$0.00 | \$667.98 | \$164.15 | \$437.87 | \$65.96 | \$667.98 |
| 06/09/25 | CURRENT DISTRIBUTION | \$1,381.50 | (\$41.45) | \$28.46 | \$0.00 | \$1,394.49 | \$342.69 | \$914.11 | \$137.69 | \$1,394.49 |
| 06/16/25 | TAX SALE | \$5,369.05 | (\$161.06) | \$110.60 | \$0.00 | \$5,419.51 | \$1,331.82 | \$3,552.56 | \$535.13 | \$5,419.51 |
| TOTAL | | \$1,546,720.95 | \$59,220.96 | \$29,750.00 | \$1,270.28 | \$1,459,020.27 | \$358,547.21 | \$956,408.13 | \$144,064.93 | \$1,459,020.27 |

GROSS
100.00%

ASSESSMENTS-DIRECT

| | | | | | \$135,360.91
FY 2025
.36300.10100
13.07% | \$900,400.00
FY2025
.36300.10100
86.93% | \$1,035,760.91
TOTAL |
|--------------|---------------|---------------------|---------------------|---------------------|---|--|-------------------------|
| DATE | BILLED AMOUNT | AMOUNT RECEIVED | NET RECEIPTS | | O&M | DSF Portion | Total |
| NLV | 10/29/24 | \$43,261.35 | \$43,261.35 | \$43,261.35 | \$43,261.35 | \$0.00 | \$43,261.35 |
| NLV | 12/4/24 | \$7,864.46 | \$7,864.46 | \$7,864.46 | \$7,864.46 | \$0.00 | \$7,864.46 |
| Pulte | 12/18/24 | \$34,124.60 | \$34,124.60 | \$34,124.60 | \$34,124.60 | \$0.00 | \$34,124.60 |
| NLV | 2/12/25 | \$19,565.18 | \$19,565.18 | \$19,565.18 | \$19,565.18 | \$0.00 | \$19,565.18 |
| Pulte | 2/28/25 | \$257,843.07 | \$257,843.07 | \$257,843.07 | \$22,423.83 | \$235,419.24 | \$257,843.07 |
| NSV | 3/19/25 | \$331,652.68 | \$331,652.68 | \$331,652.68 | \$0.00 | \$331,652.68 | \$331,652.68 |
| TOTAL | | \$694,311.34 | \$694,311.34 | \$694,311.34 | \$127,239.42 | \$567,071.92 | \$694,311.34 |

ASSESSMENTS COMBINED

| | GROSS AMOUNT
ASSESSED | TAX COLLECTOR
RECEIVED | DIRECT
RECEIVED | TOTAL COLLECTED | NET PERCENTAGE
COLLECTED |
|--------------|--------------------------|---------------------------|---------------------|-----------------------|-----------------------------|
| O & M | \$515,461.21 | \$358,547.21 | \$127,239.42 | \$485,786.63 | 94.24% |
| DEBT SERVICE | \$2,067,025.00 | \$956,408.13 | \$567,071.92 | \$1,523,480.05 | 73.70% |
| TOTAL | \$2,582,486.21 | \$1,314,955.34 | \$694,311.34 | \$2,009,266.68 | |

SECTION 2

Live Oak Lake
Community Development District

Unaudited Financial Reporting
June 30, 2025



Table of Contents

| | |
|-------|--|
| 1 | <u>Balance Sheet</u> |
| 2-3 | <u>General Fund</u> |
| 4 | <u>Impact Fee Fund</u> |
| 5 | <u>Debt Service Fund Series 2016</u> |
| 6 | <u>Debt Service Fund Series 2020</u> |
| 7 | <u>Capital Projects Fund Series 2016</u> |
| 8 | <u>Capital Projects Fund Series 2020</u> |
| 9-10 | <u>Month to Month</u> |
| 11 | <u>Long Term Debt Report</u> |
| 12-15 | <u>Check Run Summary</u> |
| 16 | <u>Assessment Receipt Schedule</u> |

Live Oak Lake
Community Development District
Combined Balance Sheet
June 30, 2025

| | <i>General
Fund</i> | <i>Impact Fee
Fund</i> | <i>Debt Service
Fund</i> | <i>Capital Projects
Fund</i> | <i>Totals
Governmental Funds</i> |
|---|-------------------------|----------------------------|------------------------------|----------------------------------|--------------------------------------|
| Assets: | | | | | |
| <u>Cash:</u> | | | | | |
| Operating Account | \$ 160,967 | \$ 104,541 | \$ - | \$ - | \$ 265,508 |
| Due from Impact Fee Fund | \$ 41,912 | \$ - | \$ - | \$ - | \$ 41,912 |
| Due from General Fund | \$ - | \$ - | \$ 41,424 | \$ - | \$ 41,424 |
| Deposits | \$ 480 | \$ - | \$ - | \$ - | \$ 480 |
| <u>Investments:</u> | | | | | |
| Bank United | \$ 18,540 | \$ - | \$ - | \$ - | \$ 18,540 |
| <u>Series 2016</u> | | | | | |
| Reserve | \$ - | \$ - | \$ 476,288 | \$ - | \$ 476,288 |
| Revenue | \$ - | \$ - | \$ 524,999 | \$ - | \$ 524,999 |
| Prepayment | \$ - | \$ - | \$ 1,100 | \$ - | \$ 1,100 |
| Construction | \$ - | \$ - | \$ - | \$ 52 | \$ 52 |
| <u>Series 2020</u> | | | | | |
| Reserve | \$ - | \$ - | \$ 989,553 | \$ - | \$ 989,553 |
| Revenue | \$ - | \$ - | \$ 209,989 | \$ - | \$ 209,989 |
| Construction | \$ - | \$ - | \$ - | \$ 89 | \$ 89 |
| Total Assets | \$ 221,899 | \$ 104,541 | \$ 2,243,352 | \$ 141 | \$ 2,569,933 |
| Liabilities: | | | | | |
| Accounts Payable | \$ 25,545 | \$ - | \$ - | \$ - | \$ 25,545 |
| Due to Debt Service | \$ 41,424 | \$ - | \$ - | \$ - | \$ 41,424 |
| Due to General Fund | \$ - | \$ 41,912 | \$ - | \$ - | \$ 41,912 |
| Total Liabilities | \$ 66,969 | \$ 41,912 | \$ - | \$ - | \$ 108,881 |
| Fund Balance: | | | | | |
| Nonspendable: | | | | | |
| Prepaid Items | \$ 480 | \$ - | \$ - | \$ - | \$ 480 |
| Restricted for: | | | | | |
| Impact Fee | \$ - | \$ 62,630 | \$ - | \$ - | \$ 62,630 |
| Debt Service - Series 2016 | \$ - | \$ - | \$ 1,039,719 | \$ - | \$ 1,039,719 |
| Debt Service - Series 2020 | \$ - | \$ - | \$ 1,203,633 | \$ - | \$ 1,203,633 |
| Capital Projects - Series 2020 | \$ - | \$ - | \$ - | \$ 89 | \$ 89 |
| Unassigned | \$ 154,450 | \$ - | \$ - | \$ - | \$ 154,450 |
| Total Fund Balances | \$ 154,930 | \$ 62,630 | \$ 2,243,352 | \$ 141 | \$ 2,461,052 |
| Total Liabilities & Fund Balance | \$ 221,899 | \$ 104,541 | \$ 2,243,352 | \$ 141 | \$ 2,569,933 |

Live Oak Lake
Community Development District
General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted | Prorated Budget | Actual | |
|---|-------------------|------------------------|----------------------|------------------|
| | Budget | Thru 06/30/25 | Thru 06/30/25 | Variance |
| <u>Revenues:</u> | | | | |
| Assessments - Tax Collector (Net) | \$ 357,293 | \$ 357,293 | \$ 358,547 | \$ 1,255 |
| Assessments - Off Roll (Platted) | \$ 95,439 | \$ 95,439 | \$ 95,439 | \$ - |
| Assessments - Off Roll (Unplatted) | \$ 31,800 | \$ 31,800 | \$ 31,800 | \$ - |
| Developer Deficit Funding | \$ 226,920 | \$ - | \$ - | \$ - |
| Interest Income | \$ - | \$ - | \$ 521 | \$ 521 |
| Total Revenues | \$ 711,452 | \$ 484,532 | \$ 486,308 | \$ 1,776 |
| <u>Expenditures:</u> | | | | |
| <u>General & Administrative:</u> | | | | |
| Supervisor Fees | \$ 12,000 | \$ 9,000 | \$ 4,200 | \$ 4,800 |
| FICA Expense | \$ 918 | \$ 689 | \$ 321 | \$ 367 |
| Engineering | \$ 15,000 | \$ 11,250 | \$ 3,335 | \$ 7,915 |
| Dissemination | \$ 5,250 | \$ 3,938 | \$ 4,038 | \$ (100) |
| Assessment Roll | \$ 5,250 | \$ 5,250 | \$ 5,250 | \$ - |
| Property Appraiser | \$ 600 | \$ 450 | \$ 133 | \$ 317 |
| Arbitrage | \$ 1,150 | \$ 863 | \$ - | \$ 863 |
| Attorney | \$ 30,000 | \$ 22,500 | \$ 15,078 | \$ 7,422 |
| Annual Audit | \$ 5,100 | \$ 5,100 | \$ 5,200 | \$ (100) |
| Trustee Fees | \$ 8,100 | \$ 8,100 | \$ 8,081 | \$ 19 |
| Management Fees | \$ 42,500 | \$ 31,875 | \$ 31,875 | \$ (0) |
| Information Technology | \$ 1,890 | \$ 1,418 | \$ 1,418 | \$ - |
| Postage | \$ 1,450 | \$ 1,088 | \$ 1,818 | \$ (731) |
| Copies | \$ 250 | \$ 188 | \$ 557 | \$ (369) |
| Rentals and Leases | \$ - | \$ - | \$ 49 | \$ (49) |
| Insurance | \$ 6,684 | \$ 6,684 | \$ 6,501 | \$ 183 |
| Legal Advertising | \$ 2,500 | \$ 1,875 | \$ 484 | \$ 1,391 |
| Other Current Charges | \$ 350 | \$ 263 | \$ - | \$ 263 |
| Office Supplies | \$ 100 | \$ 75 | \$ 214 | \$ (139) |
| Dues, Licenses & Subscriptions | \$ 175 | \$ 175 | \$ 175 | \$ - |
| Website Hosting/Compliance | \$ 1,260 | \$ 945 | \$ 945 | \$ - |
| Total General & Administrative | \$ 140,527 | \$ 111,722 | \$ 89,672 | \$ 22,050 |

Live Oak Lake
Community Development District
General Fund

Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted
Budget | Prorated Budget
Thru 06/30/25 | Actual
Thru 06/30/25 | Variance |
|--|---------------------------|--|---------------------------------|-------------------|
| <u>Operations & Maintenance</u> | | | | |
| Field Expenditures | | | | |
| Field Management | \$ 16,538 | \$ 12,404 | \$ 12,404 | \$ (0) |
| Property Insurance | \$ 5,000 | \$ 5,000 | \$ 4,050 | \$ 950 |
| Aquatic Control | \$ 51,200 | \$ 38,400 | \$ 38,656 | \$ (256) |
| Mitigation Maintenance | \$ 2,000 | \$ 1,500 | \$ 1,440 | \$ 60 |
| Midge Management | \$ 20,000 | \$ 15,000 | \$ 12,537 | \$ 2,463 |
| Contingency | \$ 9,384 | \$ 7,038 | \$ - | \$ 7,038 |
| Landscape Maintenance | \$ 286,000 | \$ 214,500 | \$ 202,493 | \$ 12,007 |
| Landscaping Replacements | \$ 50,000 | \$ 37,500 | \$ 7,773 | \$ 29,727 |
| Pond Fountain Maintenance | \$ 15,000 | \$ 11,250 | \$ 3,385 | \$ 7,865 |
| Irrigation Consultant Services | \$ 6,000 | \$ 4,500 | \$ 4,500 | \$ - |
| Irrigation Repairs | \$ 15,000 | \$ 11,250 | \$ 12,881 | \$ (1,631) |
| General Repairs and Maintenance | \$ 15,000 | \$ 11,250 | \$ 500 | \$ 10,750 |
| Electricity-Street Lights | \$ 43,694 | \$ 32,771 | \$ 34,694 | \$ (1,924) |
| Electricity-Fountains | \$ 57,600 | \$ 43,200 | \$ 508 | \$ 42,692 |
| Water-Irrigation | \$ 67,144 | \$ 50,358 | \$ 85,002 | \$ (34,644) |
| Capital Reserve | \$ 17,500 | \$ 13,125 | \$ 8,250 | \$ 4,875 |
| Subtotal Field Expenditures | \$ 677,060 | \$ 509,045 | \$ 429,074 | \$ 79,971 |
| Total Operations & Maintenance | \$ 677,060 | \$ 509,045 | \$ 429,074 | \$ 79,971 |
| Total Expenditures | \$ 817,587 | \$ 620,767 | \$ 518,746 | \$ 102,022 |
| Excess (Deficiency) of Revenues over Expenditures | \$ (106,135) | | \$ (32,438) | |
| Net Change in Fund Balance | \$ (106,135) | | \$ (32,438) | |
| Fund Balance - Beginning | \$ 106,135 | | \$ 187,367 | |
| Fund Balance - Ending | \$ - | | \$ 154,930 | |

Live Oak Lake
Community Development District
Impact Fee Fund
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted | Prorated Budget | Actual | |
|--|-------------|-----------------|-------------------|-------------------|
| | Budget | Thru 06/30/25 | Thru 06/30/25 | Variance |
| Revenues: | | | | |
| Impact Fees | \$ - | \$ - | \$ - | \$ - |
| Interest | \$ - | \$ - | \$ - | \$ - |
| Total Revenues | \$ - | \$ - | \$ - | \$ - |
| Expenditures: | | | | |
| Stormwater | \$ - | \$ - | \$ 3,139 | \$ (3,139) |
| Total Expenditures | \$ - | \$ - | \$ 3,139 | \$ (3,139) |
| Excess (Deficiency) of Revenues over Expenditures | \$ - | | \$ (3,139) | |
| Net Change in Fund Balance | \$ - | | \$ (3,139) | |
| Fund Balance - Beginning | \$ - | | \$ 65,768 | |
| Fund Balance - Ending | \$ - | | \$ 62,630 | |

Live Oak Lake
Community Development District
Debt Service Fund Series 2016
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted
Budget | Prorated Budget
Thru 06/30/25 | Actual
Thru 06/30/25 | Variance |
|--|-------------------|----------------------------------|-------------------------|---------------------|
| Revenues: | | | | |
| Assessments - Tax Roll | \$ 954,030 | \$ 954,030 | \$ 956,408 | \$ 2,379 |
| Interest | \$ 5,000 | \$ 3,750 | \$ 40,254 | \$ 36,504 |
| Total Revenues | \$ 959,030 | \$ 957,780 | \$ 996,663 | \$ 38,883 |
| Expenditures: | | | | |
| Interest - 11/1 | \$ 308,991 | \$ 308,991 | \$ 308,991 | \$ (0) |
| Special Call - 11/1 | \$ - | \$ - | \$ 15,000 | \$ (15,000) |
| Principal - 5/1 | \$ 340,000 | \$ 340,000 | \$ 340,000 | \$ - |
| Interest - 5/1 | \$ 308,991 | \$ 308,991 | \$ 308,644 | \$ 347 |
| Total Expenditures | \$ 957,981 | \$ 957,981 | \$ 972,634 | \$ (14,653) |
| Excess (Deficiency) of Revenues over Expenditures | \$ 1,048 | | \$ 24,028 | |
| Other Financing Sources/(Uses): | | | | |
| Transfer In/(Out) | \$ - | \$ - | \$ (476,288) | \$ (476,288) |
| Total Other Financing Sources/(Uses) | \$ - | \$ - | \$ (476,288) | \$ (476,288) |
| Net Change in Fund Balance | \$ 1,048 | | \$ (452,259) | |
| Fund Balance - Beginning | \$ 509,632 | | \$ 1,491,978 | |
| Fund Balance - Ending | \$ 510,681 | | \$ 1,039,719 | |

Live Oak Lake
Community Development District
Debt Service Fund Series 2020
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted
Budget | Prorated Budget
Thru 06/30/25 | Actual
Thru 06/30/25 | Variance |
|--|-------------------|----------------------------------|-------------------------|------------------|
| Revenues: | | | | |
| Assessments - Tax Roll | \$ 143,562 | \$ 143,562 | \$ 144,065 | \$ 503 |
| Assessments - Direct | \$ 846,376 | \$ 567,072 | \$ 567,072 | \$ - |
| Interest | \$ 5,000 | \$ 3,750 | \$ 35,304 | \$ 31,554 |
| Total Revenues | \$ 994,938 | \$ 714,383 | \$ 746,441 | \$ 32,057 |
| Expenditures: | | | | |
| Interest - 11/1 | \$ 339,894 | \$ 339,894 | \$ 339,894 | \$ - |
| Principal - 5/1 | \$ 310,000 | \$ 310,000 | \$ 310,000 | \$ - |
| Interest - 5/1 | \$ 339,894 | \$ 339,894 | \$ 339,894 | \$ - |
| Total Expenditures | \$ 989,788 | \$ 989,788 | \$ 989,788 | \$ - |
| Excess (Deficiency) of Revenues over Expenditures | \$ 5,150 | | \$ (243,347) | |
| Other Financing Sources/(Uses): | | | | |
| Transfer In/(Out) | \$ - | \$ - | \$ 3 | \$ 3 |
| Total Other Financing Sources/(Uses) | \$ - | \$ - | \$ 3 | \$ 3 |
| Net Change in Fund Balance | \$ 5,150 | | \$ (243,344) | |
| Fund Balance - Beginning | \$ 452,102 | | \$ 1,446,978 | |
| Fund Balance - Ending | \$ 457,252 | | \$ 1,203,633 | |

Live Oak Lake
Community Development District
Capital Projects Fund Series 2016
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted
Budget | Prorated Budget
Thru 06/30/25 | Actual
Thru 06/30/25 | Variance |
|--|-------------------|----------------------------------|-------------------------|---------------------|
| <u>Revenues</u> | | | | |
| Interest | \$ - | \$ - | \$ 1,190 | \$ 1,190 |
| Total Revenues | \$ - | \$ - | \$ 1,190 | \$ 1,190 |
| <u>Expenditures:</u> | | | | |
| Capital Outlay | \$ - | \$ - | \$ 477,702 | \$ (477,702) |
| Total Expenditures | \$ - | \$ - | \$ 477,702 | \$ (477,702) |
| Excess (Deficiency) of Revenues over Expenditures | \$ - | | \$ (476,512) | |
| <u>Other Financing Sources/(Uses)</u> | | | | |
| Transfer In/(Out) | \$ - | \$ - | \$ 476,288 | \$ 476,288 |
| Total Other Financing Sources (Uses) | \$ - | \$ - | \$ 476,288 | \$ 476,288 |
| Net Change in Fund Balance | \$ - | | \$ (224) | |
| Fund Balance - Beginning | \$ - | | \$ 276 | |
| Fund Balance - Ending | \$ - | | \$ 52 | |

Live Oak Lake
Community Development District
Capital Projects Fund Series 2020
Statement of Revenues, Expenditures, and Changes in Fund Balance
For The Period Ending June 30, 2025

| | Adopted
Budget | Prorated Budget
Thru 06/30/25 | Actual
Thru 06/30/25 | Variance |
|--|-------------------|----------------------------------|-------------------------|---------------|
| Revenues | | | | |
| Interest | \$ - | \$ - | \$ 2 | \$ 2 |
| Total Revenues | \$ - | \$ - | \$ 2 | \$ 2 |
| Expenditures: | | | | |
| Capital Outlay | \$ - | \$ - | \$ - | \$ - |
| Total Expenditures | \$ - | \$ - | \$ - | \$ - |
| Excess (Deficiency) of Revenues over Expenditures | \$ - | | \$ 2 | |
| Other Financing Sources/(Uses) | | | | |
| Transfer In/(Out) | \$ - | \$ - | \$ (2) | \$ (2) |
| Total Other Financing Sources (Uses) | \$ - | \$ - | \$ (2) | \$ (2) |
| Net Change in Fund Balance | \$ - | | \$ (0) | |
| Fund Balance - Beginning | \$ - | | \$ 89 | |
| Fund Balance - Ending | \$ - | | \$ 89 | |

Live Oak Lake
Community Development District
Month to Month
FY 2025

| | Oct-24 | Nov-24 | Dec-24 | Jan-25 | Feb-25 | Mar-25 | Apr-25 | May-25 | Jun-25 | Jul-25 | Aug-25 | Sep-25 | Total |
|---|------------------|------------------|-------------------|------------------|-----------------|------------------|------------------|-----------------|-----------------|-------------|-------------|-------------|-------------------|
| Revenues: | | | | | | | | | | | | | |
| Assessments - Tax Collector (Net) | \$ - | \$ 60,049 | \$ 277,115 | \$ 6,783 | \$ 4,564 | \$ 1,646 | \$ 5,149 | \$ 1,567 | \$ 1,675 | \$ - | \$ - | \$ - | \$ 358,547 |
| Assessments - Off Roll (Platted) | \$ 43,261 | \$ - | \$ - | \$ 41,989 | \$ - | \$ 10,189 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 95,439 |
| Assessments - Off Roll (Unplatted) | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 31,800 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 31,800 |
| Developer Deficit Funding | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Interest Income | \$ 69 | \$ 63 | \$ 63 | \$ 62 | \$ 56 | \$ 62 | \$ 61 | \$ 85 | \$ - | \$ - | \$ - | \$ - | \$ 521 |
| Total Revenues | \$ 43,331 | \$ 60,113 | \$ 277,178 | \$ 48,834 | \$ 4,620 | \$ 43,697 | \$ 5,209 | \$ 1,651 | \$ 1,675 | \$ - | \$ - | \$ - | \$ 486,308 |
| Expenditures: | | | | | | | | | | | | | |
| <i>General & Administrative:</i> | | | | | | | | | | | | | |
| Supervisor Fees | \$ - | \$ 600 | \$ - | \$ - | \$ 400 | \$ 600 | \$ 1,000 | \$ 800 | \$ 800 | \$ - | \$ - | \$ - | \$ 4,200 |
| FICA Expense | \$ - | \$ 46 | \$ - | \$ - | \$ 31 | \$ 46 | \$ 77 | \$ 61 | \$ 61 | \$ - | \$ - | \$ - | \$ 321 |
| Engineering | \$ - | \$ 785 | \$ 290 | \$ - | \$ 320 | \$ 320 | \$ 1,200 | \$ 420 | \$ - | \$ - | \$ - | \$ - | \$ 3,335 |
| Dissemination | \$ 538 | \$ 438 | \$ 438 | \$ 438 | \$ 438 | \$ 438 | \$ 438 | \$ 438 | \$ 438 | \$ - | \$ - | \$ - | \$ 4,038 |
| Assessment Roll | \$ 5,250 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 5,250 |
| Property Appraiser | \$ - | \$ - | \$ - | \$ 133 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 133 |
| Arbitrage | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Attorney | \$ 2,181 | \$ 1,390 | \$ - | \$ 1,702 | \$ 1,691 | \$ 2,279 | \$ 3,595 | \$ 2,242 | \$ - | \$ - | \$ - | \$ - | \$ 15,078 |
| Annual Audit | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 2,500 | \$ 2,700 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 5,200 |
| Trustee Fees | \$ 4,041 | \$ 4,041 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 8,081 |
| Management Fees | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ 3,542 | \$ - | \$ - | \$ - | \$ 31,875 |
| Information Technology | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ 158 | \$ - | \$ - | \$ - | \$ 1,418 |
| Postage | \$ 53 | \$ 208 | \$ 82 | \$ 176 | \$ 54 | \$ 225 | \$ 163 | \$ 164 | \$ 693 | \$ - | \$ - | \$ - | \$ 1,818 |
| Copies | \$ 18 | \$ - | \$ - | \$ 66 | \$ - | \$ 14 | \$ 1 | \$ 3 | \$ 455 | \$ - | \$ - | \$ - | \$ 557 |
| Rentals and Leases | \$ 49 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 49 |
| Insurance | \$ 6,501 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 6,501 |
| Legal Advertising | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 246 | \$ - | \$ - | \$ 238 | \$ - | \$ - | \$ - | \$ 484 |
| Other Current Charges | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Office Supplies | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 1 | \$ 212 | \$ - | \$ - | \$ - | \$ 214 |
| Dues, Licenses & Subscriptions | \$ 175 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 175 |
| Website Hosting/Compliance | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ 105 | \$ - | \$ - | \$ - | \$ 945 |
| Total Administrative | \$ 22,609 | \$ 11,311 | \$ 4,614 | \$ 6,318 | \$ 6,737 | \$ 10,471 | \$ 12,978 | \$ 7,932 | \$ 6,702 | \$ - | \$ - | \$ - | \$ 89,672 |

Live Oak Lake
Community Development District
Month to Month
FY 2025

| | Oct-24 | Nov-24 | Dec-24 | Jan-25 | Feb-25 | Mar-25 | Apr-25 | May-25 | Jun-25 | Jul-25 | Aug-25 | Sep-25 | Total |
|--|--------------------|-------------------|-------------------|------------------|--------------------|-------------------|--------------------|--------------------|--------------------|-------------|-------------|-------------|--------------------|
| <u>Operations & Maintenance</u> | | | | | | | | | | | | | |
| Field Expenditures | | | | | | | | | | | | | |
| Field Management | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ 1,378 | \$ - | \$ - | \$ - | \$ 12,404 |
| Property Insurance | \$ 4,050 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 4,050 |
| Aquatic Control | \$ 4,264 | \$ 5,240 | \$ 4,375 | \$ 4,375 | \$ 4,375 | \$ 4,375 | \$ 4,375 | \$ 4,375 | \$ 2,901 | \$ - | \$ - | \$ - | \$ 38,656 |
| Mitigation Maintenance | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 1,440 | \$ - | \$ - | \$ - | \$ 1,440 |
| Midge Management | \$ 2,964 | \$ 2,964 | \$ 2,964 | \$ - | \$ - | \$ - | \$ 999 | \$ 999 | \$ 1,649 | \$ - | \$ - | \$ - | \$ 12,537 |
| Contingency | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - |
| Landscape Maintenance | \$ 23,263 | \$ 23,263 | \$ 23,263 | \$ 21,701 | \$ 21,701 | \$ 21,701 | \$ 21,700 | \$ 24,200 | \$ 21,700 | \$ - | \$ - | \$ - | \$ 202,493 |
| Landscaping Replacements | \$ (4,101) | \$ 5,400 | \$ - | \$ 1,950 | \$ - | \$ - | \$ - | \$ 4,524 | \$ - | \$ - | \$ - | \$ - | \$ 7,773 |
| Pond Fountain Maintenance | \$ - | \$ 575 | \$ - | \$ - | \$ 865 | \$ - | \$ - | \$ 865 | \$ 1,080 | \$ - | \$ - | \$ - | \$ 3,385 |
| Irrigation Consultant Services | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ 500 | \$ - | \$ - | \$ - | \$ 4,500 |
| Irrigation Repairs | \$ - | \$ - | \$ - | \$ 800 | \$ - | \$ - | \$ 9,453 | \$ 370 | \$ 2,258 | \$ - | \$ - | \$ - | \$ 12,881 |
| General Repairs and Maintenance | \$ - | \$ 500 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 500 |
| Electricity-Street Lights | \$ - | \$ - | \$ 11,517 | \$ 3,866 | \$ 3,879 | \$ 3,847 | \$ 3,879 | \$ 3,847 | \$ 3,860 | \$ - | \$ - | \$ - | \$ 34,694 |
| Electricity-Fountains | \$ 57 | \$ 57 | \$ 52 | \$ 57 | \$ 57 | \$ 57 | \$ 57 | \$ 58 | \$ 58 | \$ - | \$ - | \$ - | \$ 508 |
| Water-Irrigation | \$ 8,119 | \$ 10,779 | \$ 10,059 | \$ 7,899 | \$ 5,799 | \$ 6,691 | \$ 7,779 | \$ 12,211 | \$ 15,669 | \$ - | \$ - | \$ - | \$ 85,002 |
| Capital Reserve | \$ - | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 8,250 | \$ - | \$ - | \$ - | \$ - | \$ - | \$ 8,250 |
| | | | | | | | | | | | | | \$ - |
| Total Field | \$ 40,494 | \$ 50,656 | \$ 54,108 | \$ 42,526 | \$ 38,554 | \$ 38,549 | \$ 58,369 | \$ 53,327 | \$ 52,492 | \$ - | \$ - | \$ - | \$ 429,074 |
| Total Expenditures | \$ 63,103 | \$ 61,967 | \$ 58,722 | \$ 48,843 | \$ 45,291 | \$ 49,020 | \$ 71,347 | \$ 61,259 | \$ 59,194 | \$ - | \$ - | \$ - | \$ 518,746 |
| Excess (Deficiency) of Revenues over Expenditures | \$ (19,772) | \$ (1,855) | \$ 218,457 | \$ (10) | \$ (40,671) | \$ (5,323) | \$ (66,138) | \$ (59,607) | \$ (57,519) | \$ - | \$ - | \$ - | \$ (32,438) |

LIVE OAK LAKE
COMMUNITY DEVELOPMENT DISTRICT
Long Term Debt Report
FY 2025

| Series 2016, Capital Improvement Revenue Bonds | | |
|--|---------------------------------|------------------------|
| Interest Rate: | 4.50% | |
| Maturity Date: | 5/1/36 | \$5,285,000.00 |
| Interest Rate: | 4.625% | |
| Maturity Date: | 5/1/47 | \$8,220,000.00 |
| Excess Revenues: | Remain In Revenue Fund | |
| Reserve Fund Definition: | Maximum Annual Debt Assessments | |
| Reserve Fund Requirement: | \$955,025.00 | |
| Reserve Fund Balance: | \$476,287.50 | |
| Bonds outstanding - 9/30/2024 | | \$13,505,000.00 |
| Less: | May 1, 2025 (Mandatory) | (\$340,000.00) |
| Less: | November 1, 2024 (Special Call) | (\$15,000.00) |
| Current Bonds Outstanding | | \$13,150,000.00 |
| Series 2020, Capital Improvement Revenue Bonds | | |
| Interest Rate: | 3.125% | |
| Maturity Date: | 5/1/25 | \$310,000.00 |
| Interest Rate: | 3.800% | |
| Maturity Date: | 5/1/30 | \$1,745,000.00 |
| Interest Rate: | 4.400% | |
| Maturity Date: | 5/1/40 | \$4,810,000.00 |
| Interest Rate: | 4.600% | |
| Maturity Date: | 5/1/51 | \$8,525,000.00 |
| Excess Revenues: | Remain In Revenue Fund | |
| Reserve Fund Definition: | Maximum Annual Debt Assessments | |
| Reserve Fund Requirement: | \$989,553.13 | |
| Reserve Fund Balance: | \$989,553.13 | |
| Bonds outstanding - 9/30/2024 | | \$15,390,000.00 |
| Less: | May 1, 2025 (Mandatory) | (\$310,000.00) |
| Current Bonds Outstanding | | \$15,080,000.00 |
| Total Current Bonds Outstanding | | \$28,230,000.00 |

SECTION 3

**BOARD OF SUPERVISORS MEETING DATES
LIVE OAK LAKE COMMUNITY DEVELOPMENT DISTRICT
FISCAL YEAR 2026**

The Board of Supervisors of the Live Oak Lake Community Development District will hold their regular meetings for Fiscal Year 2026 on the 3rd Thursday of each month, at 2:00 p.m. at the Ramada by Wyndham Hotel & Water Park, 2261 East Irlo Bronson Memorial Highway, Kissimmee, FL 34744 unless otherwise indicated as follows:

**October 16, 2025
November 20, 2025
December 18, 2025
January 15, 2026
February 19, 2026
March 19, 2026
April 16, 2026
May 21, 2026
June 18, 2026
July 16, 2026
August 20, 2026
September 17, 2026**

The meetings are open to the public and will be conducted in accordance with the provision of Florida Law for Community Development Districts. The meetings may be continued to a date, time, and place to be specified on the record at the meeting. A copy of the agenda for these meetings may be obtained from Governmental Management Services - Central Florida, LLC, 219 E. Livingston Street, Orlando, Florida 32801 or by calling (407) 841-5524.

There may be occasions when one or more Supervisors or staff will participate by telephone. Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Office at (407) 841-5524 at least 48 hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Office.

A person who decides to appeal any decision made at the meeting with respect to any matter considered at the meeting is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

District Manager

SECTION 4

Live Oak Lake Community Development District Performance Measures/Standards & Annual Reporting Form

October 1, 2025 – September 30, 2026

1. Community Communication and Engagement

Goal 1.1: Public Meetings Compliance

Objective: Hold at least three regular Board of Supervisor meetings per year to conduct CDD related business and discuss community needs.

Measurement: Number of public board meetings held annually as evidenced by meeting minutes and legal advertisements.

Standard: A minimum of three board meetings were held during the Fiscal Year.

Achieved: Yes ☐ No ☐

Goal 1.2: Notice of Meetings Compliance

Objective: Provide public notice of meetings in accordance with Florida Statutes, using at least two communication methods.

Measurement: Timeliness and method of meeting notices as evidenced by posting to CDD website, publishing in local newspaper and via electronic communication.

Standard: 100% of meetings were advertised per Florida statute on at least two mediums (i.e., newspaper, CDD website, electronic communications).

Achieved: Yes ☐ No ☐

Goal 1.3: Access to Records Compliance

Objective: Ensure that meeting minutes and other public records are readily available and easily accessible to the public by completing monthly CDD website checks.

Measurement: Monthly website reviews will be completed to ensure meeting minutes and other public records are up to date as evidenced by District Management's records.

Standard: 100% of monthly website checks were completed by District Management.

Achieved: Yes ☐ No ☐

2. Infrastructure and Facilities Maintenance

Goal 2.1: Field Management and/or District Management Site Inspections

Objective: Field manager and/or district manager will conduct inspections per District Management services agreement to ensure safety and proper functioning of the District's infrastructure.

Measurement: Field manager and/or district manager visits were successfully completed per management agreement as evidenced by field manager and/or district manager's reports, notes or other record keeping method.

Standard: 100% of site visits were successfully completed as described within district management services agreement

Achieved: Yes ☐ No ☐

Goal 2.2: District Infrastructure and Facilities Inspections

Objective: District Engineer will conduct an annual inspection of the District's infrastructure and related systems.

Measurement: A minimum of one inspection completed per year as evidenced by district engineer's report related to district's infrastructure and related systems.

Standard: Minimum of one inspection was completed in the Fiscal Year by the district's engineer.

Achieved: Yes ☐ No ☐

3. Financial Transparency and Accountability

Goal 3.1: Annual Budget Preparation

Objective: Prepare and approve the annual proposed budget by June 15 and final budget was adopted by September 30 each year.

Measurement: Proposed budget was approved by the Board before June 15 and final budget was adopted by September 30 as evidenced by meeting minutes and budget documents listed on CDD website and/or within district records.

Standard: 100% of budget approval & adoption were completed by the statutory deadlines and posted to the CDD website.

Achieved: Yes ☐ No ☐

Goal 3.2: Financial Reports

Objective: Publish to the CDD website the most recent versions of the following documents: Annual audit, current fiscal year budget with any amendments, and most recent financials within the latest agenda package.

Measurement: Annual audit, previous years' budgets, and financials are accessible to the public as evidenced by corresponding documents on the CDD's website.

Standard: CDD website contains 100% of the following information: Most recent annual audit, most recent adopted/amended fiscal year budget, and most recent agenda package with updated financials.

Achieved: Yes ☐ No ☐

Goal 3.3: Annual Financial Audit

Objective: Conduct an annual independent financial audit per statutory requirements and publish the results to the CDD website for public inspection, and transmit to the State of Florida.

Measurement: Timeliness of audit completion and publication as evidenced by meeting minutes showing board approval and annual audit is available on the CDD's website and transmitted to the State of Florida.

Standard: Audit was completed by an independent auditing firm per statutory requirements and results were posted to the CDD website and transmitted to the State of Florida.

Achieved: Yes ☐ No ☐

Chair/Vice Chair:_____

Date:_____

Print Name:_____

Live Oak Lake Community Development District

District Manager:_____

Date:_____

Print Name:_____

Live Oak Lake Community Development District



Memorandum

To: Board of Supervisors

From: District Management

Date: August 7, 2024

RE: HB7013 – Special Districts Performance Measures and Standards

To enhance accountability and transparency, new regulations were established for all special districts, by the Florida Legislature, during their 2024 legislative session. Starting on October 1, 2024, or by the end of the first full fiscal year after its creation (whichever comes later), each special district must establish goals and objectives for each program and activity, as well as develop performance measures and standards to assess the achievement of these goals and objectives. Additionally, by December 1 each year (initial report due on December 1, 2025), each special district is required to publish an annual report on its website, detailing the goals and objectives achieved, the performance measures and standards used, and any goals or objectives that were not achieved.

District Management has identified the following key categories to focus on for Fiscal Year 2025 and develop statutorily compliant goals for each:

- Community Communication and Engagement
- Infrastructure and Facilities Maintenance
- Financial Transparency and Accountability

Additionally, special districts must provide an annual reporting form to share with the public that reflects whether the goals & objectives were met for the year. District Management has streamlined these requirements into a single document that meets both the statutory requirements for goal/objective setting and annual reporting.

The proposed goals/objectives and the annual reporting form are attached as exhibit A to this memo. District Management recommends that the Board of Supervisors adopt these goals and objectives to maintain compliance with HB7013 and further enhance their commitment to the accountability and transparency of the District.

Exhibit A:
Goals, Objectives and Annual Reporting Form

Live Oak Lake Community Development District Performance Measures/Standards & Annual Reporting Form

October 1, 2024 – September 30, 2025

1. Community Communication and Engagement

Goal 1.1: Public Meetings Compliance

Objective: Hold at least three regular Board of Supervisor meetings per year to conduct CDD related business and discuss community needs.

Measurement: Number of public board meetings held annually as evidenced by meeting minutes and legal advertisements.

Standard: A minimum of three board meetings were held during the Fiscal Year.

Achieved: Yes ☐ No ☐

Goal 1.2: Notice of Meetings Compliance

Objective: Provide public notice of meetings in accordance with Florida Statutes, using at least two communication methods.

Measurement: Timeliness and method of meeting notices as evidenced by posting to CDD website, publishing in local newspaper and via electronic communication.

Standard: 100% of meetings were advertised per Florida statute on at least two mediums (i.e., newspaper, CDD website, electronic communications).

Achieved: Yes ☐ No ☐

Goal 1.3: Access to Records Compliance

Objective: Ensure that meeting minutes and other public records are readily available and easily accessible to the public by completing monthly CDD website checks.

Measurement: Monthly website reviews will be completed to ensure meeting minutes and other public records are up to date as evidenced by District Management's records.

Standard: 100% of monthly website checks were completed by District Management.

Achieved: Yes ☐ No ☐

2. Infrastructure and Facilities Maintenance

Goal 2.1: Field Management and/or District Management Site Inspections

Objective: Field manager and/or district manager will conduct inspections per District Management services agreement to ensure safety and proper functioning of the District's infrastructure.

Measurement: Field manager and/or district manager visits were successfully completed per management agreement as evidenced by field manager and/or district manager's reports, notes or other record keeping method.

Standard: 100% of site visits were successfully completed as described within district management services agreement

Achieved: Yes ☐ No ☐

Goal 2.2: District Infrastructure and Facilities Inspections

Objective: District Engineer will conduct an annual inspection of the District's infrastructure and related systems.

Measurement: A minimum of one inspection completed per year as evidenced by district engineer's report related to district's infrastructure and related systems.

Standard: Minimum of one inspection was completed in the Fiscal Year by the district's engineer.

Achieved: Yes ☐ No ☐

3. Financial Transparency and Accountability

Goal 3.1: Annual Budget Preparation

Objective: Prepare and approve the annual proposed budget by June 15 and final budget was adopted by September 30 each year.

Measurement: Proposed budget was approved by the Board before June 15 and final budget was adopted by September 30 as evidenced by meeting minutes and budget documents listed on CDD website and/or within district records.

Standard: 100% of budget approval & adoption were completed by the statutory deadlines and posted to the CDD website.

Achieved: Yes ☐ No ☐

Goal 3.2: Financial Reports

Objective: Publish to the CDD website the most recent versions of the following documents: Annual audit, current fiscal year budget with any amendments, and most recent financials within the latest agenda package.

Measurement: Annual audit, previous years' budgets, and financials are accessible to the public as evidenced by corresponding documents on the CDD's website.

Standard: CDD website contains 100% of the following information: Most recent annual audit, most recent adopted/amended fiscal year budget, and most recent agenda package with updated financials.

Achieved: Yes ☐ No ☐

Goal 3.3: Annual Financial Audit

Objective: Conduct an annual independent financial audit per statutory requirements and publish the results to the CDD website for public inspection, and transmit to the State of Florida.

Measurement: Timeliness of audit completion and publication as evidenced by meeting minutes showing board approval and annual audit is available on the CDD's website and transmitted to the State of Florida.

Standard: Audit was completed by an independent auditing firm per statutory requirements and results were posted to the CDD website and transmitted to the State of Florida.

Achieved: Yes ☐ No ☐

Chair/Vice Chair:_____

Date:_____

Print Name:_____

Live Oak Lake Community Development District

District Manager:_____

Date:_____

Print Name:_____

Live Oak Lake Community Development District